

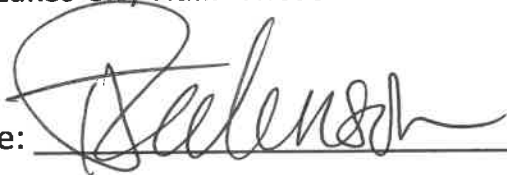
Kohman Variana
letters

Affidavit of Mailing

STATE OF MINNESOTA)
)ss.
COUNTY OF CROW WING)

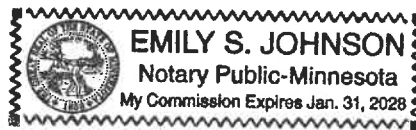
I hereby state that the information noted is true, to the best of my knowledge. I also confirm that the information here is both accurate and complete, and relevant information has not been omitted.

On the 16 day of October, 2025, I Traii Pederson mailed letters, enclosed in an envelope, sent by regular US Postal Mail, to those noted on this attached mailing sheet regarding notification for a public hearing to be held at the City of Pequot Lakes City Hall. These were sent to the last known address of said person(s).

Signature: 

Subscribed and sworn before me this 16 day of October, 2025.


Notary Public Signature and Stamp



CITY OF PEQUOT LAKES
BOARD OF ADJUSTMENT
NOTICE OF PUBLIC HEARING - VARIANCE REQUEST
MONDAY, OCTOBER 27th, 2025
6:00 P.M.
AT
CITY HALL
4638 MAIN STREET

TO WHOM IT MAY CONCERN:

The following will be the subject of a public hearing on Monday, October 27th, beginning at 6:00 p.m.

Hearing: Variance Application #25-06 to construct a proposed addition to an existing legal non-conforming residential dwelling.

Property Owner/Applicant: Mary Jo Kohman

Property Description: The subject property is located at 27088 W Twin Lake Dr, Pequot Lakes. "N 80 FT OF S 1055 FT OF GOV LOT 4..."; PID 29340505, Section 34, Township 136, Range 29. See reverse side of this notice for depiction provided by Crow Wing County GIS.

Purpose: The applicant is requesting a variance to construct a proposed 1570 sq ft addition & covered entry to the current 884 sq ft residential dwelling. The proposed addition does not expand the existing dwelling closer to West Twin Lake, side yard property line setbacks, or the road right of way setback of West Twin Lake Dr.

All interested persons are invited to attend this hearing and be heard or send written comments to City Hall. Copies of the application, maps, drawings and staff report are available at City Hall and on-line at www.pequotlakes-mn.gov one week prior to the hearing date.

Property Owners Please Note: Notice relative to the above listed request is sent to all property owners within 350' of the applicant's property. Please share this information with your neighbors in the event that any property owner has been overlooked or is not contained in our records.

Traci Pederson
Zoning Administrator
City of Pequot Lakes

"This institution is an equal opportunity provider and employer"

The subject property on CWC GIS:



Kohman mailing 10/16/25

BROWN, DEBORA S
PO BOX 547
PEQUOT LAKES MN 56472

DERFLER, DANIEL H & CYNTHIA
7401 25TH AVE SW
PEQUOT LAKES MN 56472

FOLLMUTH, DANIEL P & TARA M
633 RAMSEY CIRCLE
CARVER, MN 55315-4517

HAUSER-JOHNSON, SAMANTHA &
133 HAWTHORNE RD
HOPKINS MN 55343

KOHMAN, MARY JO
10684 38TH CIR NE
SAINT MICHAEL MN 55376

NELSON LIVING TRUST
KYLER & GAIL NELSON TRUSTEES
48 E PLEASANT LAKE RD
NORTH OAKS MN 55127

SCHELLHAS, HEIDI S &
226 CANYON CIR N
PALM SPRINGS CA 92264

SHERSETH, WALTER & NANCY TRUST AGMT
27128 LOON PT
PEQUOT LAKES MN 56472

SNYDER, MARY L
P O BOX 120
PEQUOT LAKES, MN 56472

YAHN, JONATHAN P & BRYN N
27110 W TWIN LAKE DR
PEQUOT LAKES MN 56472

BOARD OF ADJUSTMENT STAFF REPORT –Public Hearing | October 27th, 2025

Application: Variance #V25-06 to construct a proposed addition (expansion) to an existing non-conforming structure within the Shore Impact Zone of West Twin Lake (GD).

Applicant: Mary Jo Kohman

Agenda Item: 3.c

Background Information: The applicant is requesting a variance for the proposed construction of a 1570 sq ft addition & covered entry to the existing non-conforming residential dwelling on the subject property located at 27088 W Twin Lake Dr, Pequot Lakes, PID 29340505. The subject property is zoned Shoreline Residential.

The subject property is described as “N 80 ft of S 1055 ft of Gov Lot 4 lying W of W Twin Lake...” Section 34, Township 136, Range 29. The property is riparian to West Twin (18-409), a General Development Lake, and is accessed via W Twin Lake Drive.

The variance request derives from the proposed 1570 sq ft addition & covered entry to the existing 884 sq ft residential dwelling (cabin) which is a non-conforming structure due to infringement upon the OHW setback to West Twin Lake. The total proposed square footage for the dwelling with the proposed addition, covered entry, and reconfigured (reduced) deck addition is 2,634 sq ft. The minimum distance to the OHW of West Twin Lake is 75’ and the proposed dwelling after the reconfiguration of the existing 333 sq ft deck to 180 sq ft is shown on the Certificate of Survey at 47’. The total proposed impervious surface is 4,949 sq ft, which is 18.0% of the subject property lot size.

GIS Imagery 2022, Crow Wing County GIS:



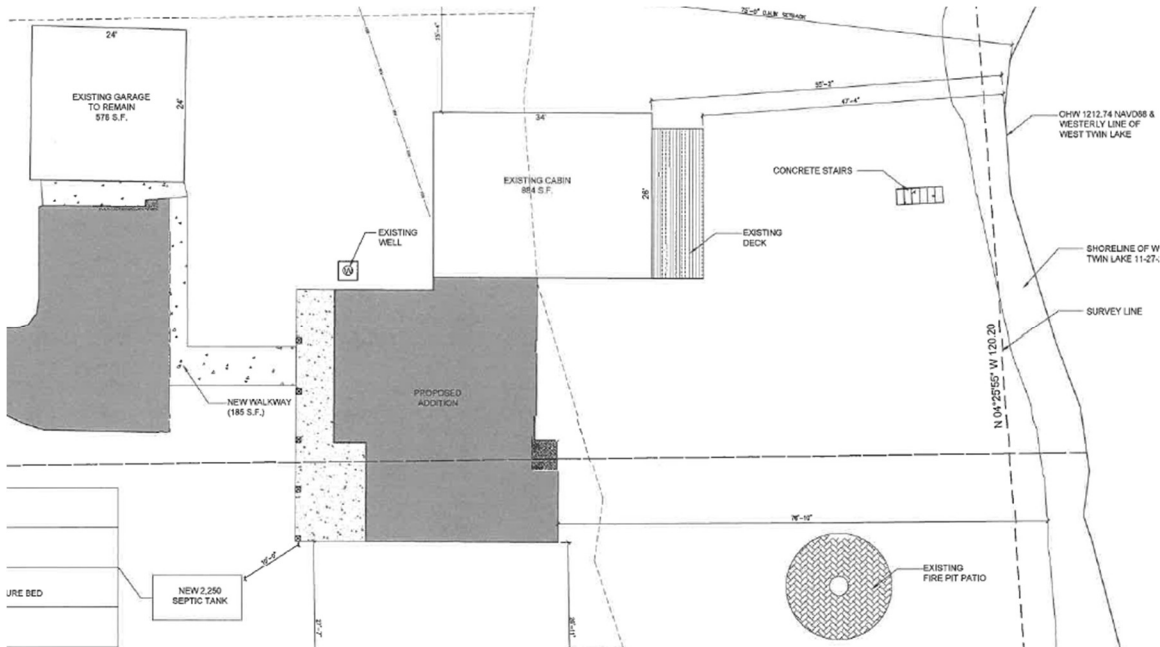
GIS Imagery with FEMA Floodplain Layer:



GIS Imagery with NWI (Wetlands) Layer:



Excerpt from Certificate of Survey provided with the Application:



Impervious Surface calculation provided on the COS:

<p>GENERAL DEMOLITION NOTE</p> <p>G.C. TO COORDINATE REMOVAL OF ALL EXISTING BUILDING AND SITE ELEMENTS WITH OWNER. VERIFY EXTENT OF REMOVAL OF DRIVES, WALKS, PATIOS, TREES AND LANDSCAPING TO ALLOW FOR NEW CONSTRUCTION. COORDINATE REMOVAL OR RELOCATION OF EXISTING UTILITIES & SEPTIC SYSTEM W/ OWNER AND UTILITY COMPANIES.</p>	<p>SITE NOTES</p> <ul style="list-style-type: none"> CONTRACTOR TO VERIFY ALL EXISTING GRADES AND STAKE OUT THE BUILDING FOOTPRINT FOR OWNER/ ARCHITECT APPROVAL PRIOR TO BEGINNING ANY SITE WORK. VERIFY ALL UTILITY ROUTING W/ APPLICABLE UTILITY COMPANY. FIELD VERIFY PROPOSED UTILITY REQUIREMENTS W/ EXISTING CONDITIONS ON SITE WITH OWNER & G.C. VERIFY INSTALLATION OF NEW SEPTIC SYSTEM, WELL, ETC. TO CONFORM W/ COUNTY & STATE REGULATIONS. PROVIDE POSITIVE DRAINAGE AT BUILDING PERIMETER (SLOPE AWAY FROM BUILDING AT 1:12 MIN.) IF A SOILS REPORT IS UNAVAILABLE, UPON COMPLETION OF THE EXCAVATION, IT IS RECOMMENDED THAT THE OWNER RETAIN A GEOTECHNICAL ENGINEER TO INSPECT, TEST, AND APPROVE THE SUBSURFACE CONDITIONS IN ORDER TO VERIFY THE ADEQUACY OF THE FOUNDATION DESIGN PRIOR TO PLACING ANY CONCRETE. TEST RESULTS SHALL BE SUBMITTED TO THE AUTHORITIES HAVING JURISDICTION. FIELD VERIFY TREES TO BE REMOVED & THOSE TO REMAIN W/ OWNER. VERIFY ALL LANDSCAPING LAYOUTS AND DESIGN. 																
<p>PROPOSED IMPERVIOUS CALCULATIONS</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 70%;">EXISTING CABIN & NEW</td> <td style="text-align: right;">= 2,454 S.F.</td> </tr> <tr> <td>EXISTING GARAGE</td> <td style="text-align: right;">= 576 S.F.</td> </tr> <tr> <td>PATIO</td> <td style="text-align: right;">= 211 S.F.</td> </tr> <tr> <td>CONCRETE AREAS</td> <td style="text-align: right;">= 528 S.F.</td> </tr> <tr> <td>EXISTING DRIVEWAY</td> <td style="text-align: right;">= 1,180 S.F.</td> </tr> <tr> <td>TOTAL PROPOSED IMPERVIOUS</td> <td style="text-align: right;">= 4,949 S.F.</td> </tr> <tr> <td>LOT SIZE</td> <td style="text-align: right;">= 27,505 S.F.</td> </tr> <tr> <td>PROPOSED IMPERVIOUS COVERAGE</td> <td style="text-align: right;">= 18.0 %</td> </tr> </table>	EXISTING CABIN & NEW	= 2,454 S.F.	EXISTING GARAGE	= 576 S.F.	PATIO	= 211 S.F.	CONCRETE AREAS	= 528 S.F.	EXISTING DRIVEWAY	= 1,180 S.F.	TOTAL PROPOSED IMPERVIOUS	= 4,949 S.F.	LOT SIZE	= 27,505 S.F.	PROPOSED IMPERVIOUS COVERAGE	= 18.0 %	
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Applicable Regulations:

Section 17-5.8 SHORELINE RESIDENTIAL/SHORELAND OVERLAY (SR/SO)

1. Purpose and Intent: To provide a zoning classification for riparian residential development and property within the designated Shoreland Overlay District as established in Section 17-6.11. The zone may or may not be served by municipal sewer and water, depending on availability.
2. Compatibility: The Shoreline Residential/Shoreland Overlay District shall be established in areas consistent with the definition of “Shoreland” within City Code.
3. Lot, Use and Density Requirements.

	<u>GD Riparian Only</u>	<u>RD, Non-Riparian GD</u>	<u>NE Lake</u>
Lot width at OHW and building line – feet, minimum	100	150	200
Lot width with guest quarters or duplex	180	225	300
Buildable lot area – square feet, minimum	20,000	40,000	80,000
Buildable lot area with guest quarters or duplex – square feet, minimum	40,000	80,000	160,000
Setback, right-of-way, local streets – feet, minimum	10	10	10
Setback, right-of-way, collector and arterial streets – feet, minimum	30	30	30
Setback, OHW – feet, minimum	75	100	150
Setback, bluff – feet, minimum	30	30	30
Setback, side – feet, minimum	10	10	15
Setback, corner side – feet, minimum	30	30	30
Setback, sign – feet, minimum	1	1	1
Setback, wetland – feet, minimum	30	30	30
Impervious coverage – maximum	25%	25%	20%
Building height – feet, maximum	25	25	25
Building height, accessory structure not containing guest quarter(s) – feet, maximum	13	13	13
Flag Pole Height – feet, maximum	30	30	30
Building above highest known groundwater or lake level – feet,	3	3	3



minimum

Maximum Density	1 unit/20,000 sq. ft.	1 unit/40,000 sq. ft.	1 unit/80,000 sq. ft.
ISTS setback from OHW – feet, minimum	75	75	100

1. Performance Standards. The following performance standards apply to all development in this zone:

A. Guest Cottages/Guest Quarters. One guest cottage or one guest quarter may be allowed on lots meeting or exceeding the duplex lot area and width dimensions presented in Section 5.8 (3), provided the following standards are met:

- (1) For lots exceeding the minimum lot dimensions of duplex lots, a guest cottage must be located within an area equal to the smallest duplex-sized lot that could be created including the principal dwelling unit.
- (2) Shall be screened from adjacent parcels and public waters by vegetation, topographical location, increased setback, color or other methods assuming summer leaf on conditions
- (3) A guest cottage must not cover more than 700 square feet of land surface and must not exceed 15 feet in height.
- (4) The building footprint for an accessory structure containing a guest quarter is limited by impervious surface limits according to Article 5.8 and the livable area shall not exceed 700 square feet.
- (5) An accessory structure containing a guest quarter may not exceed 25 feet in building height.
- (6) Only one guest cottage or one guest quarter is allowed on a lot.
- (7) All setbacks and impervious surface coverage limits of the Shoreline Residential Zone shall be met.
- (8) Shall not be utilized as short-term or long-term rental dwelling units.

B. Setback from OHW. On parcels with municipal sanitary sewer service, if a structure exists on either side of a proposed structure, the waterfront setback may be altered without variance to conform to the adjoining setbacks provided that the building site is not in a bluff impact zone or the setback less than 50 feet minimum. If no structure exists on either side, a new structure may encroach up to a 50-foot setback from the OHW.

C. Stairways, lifts and landings. Stairways and lifts are the preferred alternative to major topographic alterations for achieving access up and down bluffs and steep slopes to shore areas. Stairways and lifts must meet the following design requirements:

- (1) Stairways and lifts must not exceed 4 feet in width on residential lots. Wider stairways may be used for commercial properties, public open-space recreational properties, and planned unit developments.
- (2) Landings for stairways and lifts on residential lots must not exceed 32 square feet in area.
- (3) Canopies or roofs are not allowed on stairways, lifts or landings.
- (4) Stairways, lifts and landings may be either constructed above the ground on posts or pilings, or placed into the ground, provided they are designed and built in a manner that ensures control of soil erosion.
- (5) Stairways, lifts and landing must be located in the most visually inconspicuous portions of lots, as viewed from the surface of the public water assuming summer, leaf-on conditions, whenever practical.
- (6) Facilities such as ramps, lifts or mobility paths for physically handicapped persons are also allowed for achieving access to shore areas, provided that the dimensional and performance standards of sub-items (1) to (5) are complied with.

D. Boardwalks. Boardwalks are the required alternative for achieving access to shore areas across delineated wetlands. Boardwalks must meet the following design requirements:

- (1) Boardwalks must not exceed four (4) feet in width on residential lots. Wider boardwalks may be used for commercial properties, public open space, recreational properties, and planned unit developments if specifically authorized in a conditional use permit.
- (2) Landings for boardwalks on residential lots must not exceed thirty- six (36) square feet in area. Landings larger than 36 square feet may be allowed for commercial properties, public open space recreational properties, and planned unit developments if specifically authorized in a conditional use permit.
- (3) Canopies or roofs are not allowed on boardwalks or landings. Boardwalks shall be constructed above the ground on posts or pilings.
- (4) Boardwalks should be located in the most visually inconspicuous portion of the lot, as viewed from the surface of the public waters assuming summer, leaf-on conditions.
- (5) Boardwalks shall be made of nontoxic materials.

E. Fertilizer and Pesticides. Use of fertilizer and pesticides in the shoreland management district must be done in such a way as to minimize runoff into the shore impact zone or public water

by the use of earth, vegetation or both. The use of fertilizers containing phosphorus is prohibited within the shore impact zone.

F. Duplexes. On Natural Environment lakes, subdivisions of duplexes must also meet the following standards:

- (1) Each building must meet setback at least 200 feet from the Ordinary High Water Mark.
- (2) Each building must have common sewage treatment and water systems that serve both units in the building.
- (3) Watercraft docking facilities for each lot must be centralized in location and serve all dwelling units in the subdivision.
- (4) No more than 25% of lake shoreline can be in duplex development

G. Docks. The landward end of all docks must meet a 10-foot setback from the nearest lot line. Docks must be placed so that no portion of the dock, including “L” extensions or additions, and no accessory or ancillary structures or equipment (including mooring buoys, boat lifts, shore trackers or swimming platforms), extends across the projection of the setback from the lot line into the lake. Docks must also be placed so as not to block access from an adjacent property to open water. The storage of all docks, and all watercraft or water oriented items shall also be subject to this property setback rule.

Notwithstanding any provision of this section to the contrary, the 10-foot setback for docks shall not apply to the extent necessary to allow ingress or egress of a pre-existing boat house.

In order to protect the environmental and aesthetic qualities of the lakes, docks shall not extend further than 75 feet from the shoreline into the water and shall not be placed in water depth greater than 10 feet.

The Board of Adjustment may grant a variance, through the variance process, to these provisions where it can be demonstrated that it is environmentally beneficial to do so. The variance hearing fee would be refunded if the variance is approved.

These provisions shall apply to the use, maintenance and installation of any dock and accessory or ancillary structures or equipment at any time.

H. Screening. Screening consisting of native trees and shrubs covering a minimum of 75 percent of the area (leaf on conditions) is required in the shore impact zone, bluff impact zone and wetland setback in order to retain the scenic beauty and rural character as viewed from lakes.

To obtain a construction permit in this district, a revegetation plan shall be required for existing properties that do not meet this standard.

I. Water Oriented Accessory Structure Standards:

- (1) One (1) water-oriented accessory structure on riparian residential lots not meeting the structure setbacks in Section 17-5.8, subpart 3 of this Chapter may be placed with an approved Land Use Permit provided the following standards are met:
- a. The structure or facility must not exceed 12 feet in height for pitched roofs, or 10 feet in height for flat roofs and cannot occupy a combined area greater than 120 combined square feet (e.g., a patio and storage structure may both be constructed but must be located contiguously and cannot exceed 120 combined square feet);
 - b. The setback of the structure or facility from the OHW must be at least 20 feet;
 - c. The setback of the structure or facility from the side (property line) must be at least 10 feet for GD& RD Lakes, and 15 feet for NE Lakes;
 - d. The structure must be treated to reduce visibility as viewed from public waters and adjacent shorelands by vegetation, topography, increased setbacks, color, or other means acceptable to the department, assuming summer, leaf-on conditions;
 - e. Construction complies with all other provisions of this chapter;
 - f. The maximum impervious surface limits for the lot are not exceeded;
 - g. The structure shall not be located within a bluff impact zone;
 - h. The structure shall not be used for human habitation; and
 - i. The structure shall not include bathroom facilities.
 - j. Roofs may be used as open-air decks with safety rails but must not be enclosed;
 - k. Three (3) feet of roof overhang, stoops not exceeding 30 square feet and steps to ground not over 4 feet wide may protrude into the setback.

J. Accessory Structure. A permit shall not be required for up to two accessory structures totaling no more than 160 square feet. Accessory structures shall meet all zoning requirements in the Section. Ground-mounted solar panel installations shall not count against this limit.

K. Fences. Fences not exceeding 36 inches in height may be constructed within the OHW setback area so long as the fencing is transparent. Fences not exceeding 72 inches in height may be constructed up to the OHW setback area. Under no circumstances shall a fence be constructed closer than 10 feet from the surface of a public road and in all cases not within the public right-of-way. Materials shall consist of usual fencing materials with posts and fence of metal, wood, concrete, brick or smooth wire. Barbed or electrified wire is prohibited.

Section 17-3.2. DEFINITIONS

190. Practical Difficulties. The property owner proposes to use the property in a reasonable manner not permitted by an official control; the plight of the landowner is due to circumstances unique to the property not created by the landowner; and the variance, if granted, will not alter the essential character of locality. Economic considerations alone do not constitute practical difficulties. Practical difficulties include but are not limited to, inadequate access to direct sunlight for solar energy systems.

Section 17-4.4 NON-CONFORMING STRUCTURES AND USES

1. Any nonconformity, including the lawful use or occupation of land or premises existing at the time of the adoption of an official control under this chapter, may be continued, including through repair, replacement, restoration, maintenance, or improvement, but not including expansion, unless:
 - A. the nonconformity or occupancy is discontinued for a period of more than one year; or
 - B. any nonconforming use is destroyed by fire or other peril to the extent of greater than 50 percent of its market value, and no building permit has been applied for within 180 days of when the property is damaged, in which case any subsequent use or occupancy of the land or premises shall be a conforming use or occupancy.

Notwithstanding, the foregoing, any structure or use legally existing at the time of the adoption of an official control under this Chapter and which does not conform to the provisions of the Ordinance may be continued subject to the following:

2. No such structure or use shall be expanded, enlarged or intensified except in conformity with the provisions of this Chapter with consideration for variances thereto and consideration given for previously approved Planned Unit Developments.
3. A one-time addition to a non-conforming principle structure shall be permitted subject to the following:

- A. The non-conformity is due solely to setbacks.
- B. The addition is not within the shore impact zone.
- C. The addition will not encroach further into any setback.
- D. The size of the addition shall be proportionate to the percentage of the setback requirement that can be met. The amount of area a structure may be expanded shall be determined by the following tables:

% of Setback Met	
1-50% Setback	Tier One
51-99% Setback	Tier Two
Expansion Allowed	
Tier One	25% addition
Tier Two	50% addition

- E. The total footprint of the structure, once the addition is completed, shall not exceed 2,500 square feet, including decks, porches, patios and other projections.
- F. For reasons of structural integrity, a basement may be allowed under the addition only where a basement exists in the original structure.
- G. Additional screening is provided to screen the addition as viewed from adjacent properties, public roads and the surface water.
- H. A stormwater management plan is implemented that directs stormwater away from adjacent properties and surface waters.
- I. The height of the addition shall not exceed the height of the existing structure.
- J. A state licensed building inspector or professional engineer must submit written documentation affirming that the existing building is structurally sound and can accommodate the

proposed addition.

- K. Beyond minor alteration needed to accommodate the addition, no structural modifications shall be made to the original structure either as part of the project to add the addition or at any time within five years subsequent to completion of the addition. Any property owner exercising this option is voluntarily relinquishing, for a period of 60 months, their right to rebuild their existing structure.
 - L. No permits shall be granted under this provision for homes constructed after July 1, 1995, or where a previous variance has been approved.
 - M. All other provisions of this Chapter must be complied with.
4. A lawful, non-conforming use may be changed to lessen the non-conformity of use. Once a non-conforming use has been changed, it shall not thereafter be altered to increase the non-conformity.
5. Sewage treatment systems shall be upgraded to a conforming status in conformance with the following schedule:
- a. Upon issuance of any permit or variance for any improvement on, or use of, the property.
 - b. Upon determination that leakage to the surface or lake or into an adjacent well is occurring, or determination that the system is discharging into the ground at an elevation less than 3 feet above the highest known watertable.
 - c. Upon determination by Zoning Administrator that a system is inadequate for a change in occupation or use in the structure.
 - d. Upon notice by the Zoning Administrator that the City's records indicate the system is non-conforming.
 - e. Upon availability of a community sewer system to the property, connection to that system shall be made regardless of the conformance or non-conformance of the individual system.

6. [Excluded from report] Existing water-oriented structures.

7. Deck and Platform Additions to Non-Conforming Structures. Decks and platforms must meet the structure setback standards on all new construction. Decks and platforms that do not meet setback requirements from public waters may be allowed without a Variance provided all the following criteria and standards are met:

- A. The structure existed prior to January 1, 1995 and has not been rebuilt, reconstructed or added on more than 50% since that date.
- B. A thorough evaluation of the property and structure reveals no reasonable location for a deck or platform which meets or exceeds the setback from the ordinary high-water level.
- C. The deck encroachment toward the ordinary high-water level does not exceed fifteen (15) percent of the existing setback of the structure from the ordinary high-water level or does not encroach closer than the shore impact zone, whichever is more restrictive.
- D. The platform encroachment toward the ordinary high-water level does not encroach closer than thirty (30) feet and does not exceed four hundred (400) square feet in size.
- E. The deck is constructed primarily of wood, and is not roofed or screened.
- F. The deck does not exceed ten (10) feet in height, from ground level and must not exceed eight (8) feet above grade, which is determined to be at the foundation; and cannot occupy an area greater than 250 square feet.
- G. A deck or platform addition shall not be allowed on accessory nonconforming structures.

Section 17-11.7 VARIANCES

6. Variances shall be decided within the required time frame with consideration for the following:

- A. The applicant establishes that there are practical difficulties, as defined in this ordinance, in complying with the official control, and

- B. The plight of the landowner is due to circumstances unique to the property not created by the landowner, and
 - C. The deviation from the Ordinance with any attached conditions will still be in harmony with the general purposes and intent of the Ordinance and the Comprehensive Plan, and
 - D. The variance will not create a land use not allowed in the zone, and
 - E. The variance will not alter the essential character of the locality, and
 - F. The variance is not for economic reasons alone, but reasonable use of the property does not exist under the Ordinance.
7. The Board of Adjustment may impose conditions in the granting of variances. A condition must be directly related to and must bear a rough proportionality to the impact created by the variance.

Staff Findings: Staff provides the following findings of fact for consideration by the Board of Adjustment:

1. The applicant is requesting a variance for the proposed construction of a 1570 sq ft addition & covered entry to the existing non-conforming residential dwelling on the subject property located at 27088 W Twin Lake Dr, Pequot Lakes, PID 29340505.
2. The subject property is zoned "Shoreline Residential".
3. The subject property is approximately 0.63 acres, or 27,505 sq ft.
4. The subject property has an existing 884 sq ft residential dwelling, 333 sq ft lakeside (east) deck, accessory structure, private septic system & well.
5. The proposed development for the property is a 2,454 sq ft for the existing dwelling & proposed addition, 578 sq ft existing garage (no change), 211 sq ft patio (no change), & reconfiguration of the existing lakeside deck resulting in a 180 sq ft, 8' x 22'6" deck (reduction, no change in setbacks). The total square footage of the proposed dwelling, covered entry, and deck is 2,634 sq ft.
6. The variance is for the expansion of a non-conforming structure beyond the allowed criteria as outlined in Section 17-4.4. The proposed (and existing) setback from the OHW of West Twin Lake to the foundation of the dwelling is 55'2" & 47'4" to the northern corner of the existing lakeside deck from the OHW of West Twin Lake. No further encroachment of any setback has been proposed within this request.
7. A septic design for an upgraded/replacement private septic system has been approved by the City for the proposed addition to the existing dwelling.
8. The impervious surface calculation as provided on the Certificate of Survey shows a proposed increase of 4,949 sq ft of impervious surface, resulting in a total lot impervious coverage percentage of 18.0% where the maximum allowed is 25%.

9. No formal stormwater management documentation has been provided within this application. A recommended condition for approval of this request provides project specific guidance and criteria related to stormwater management, erosion control, and drainage plans conditioned at the time of application for a land use permit upon successful approval of the variance request.
10. Notice of this variance application was published in the local newspaper & distributed to property owners within the required distance to the property (350'). At the time of the drafting of this report, no comments have been received.
11. Notice of this variance application was submitted to the MN DNR for comment. Jake Frie, Area Hydrologist MN DNR, provided the following comment to the City on 10/16/2025 that the MN DNR has no comment on the proposal.
12. No extensive research was conducted regarding similar structures in similar locations for property within the immediate vicinity of the subject property. Review of Aerial imagery obtained from GIS may be impacted due to tree/vegetative cover or development that has occurred after the 2022 imagery data was created.
13. As shown on the Certificate of Survey, the proposed addition to the existing structure, reduction of existing deck, and upgraded septic system meet all applicable setbacks of the SR/SO Zone.
14. The Certificate of Survey provided with the Variance application was conducted by a licensed Surveyor, Jacob M Backowski, Lic No 51693, of True North Surveys, P.A. on 9/24/2025.

Establishment of Practical Difficulty:

Applicant establishment: The applicant has provided responses regarding the criteria provided in Section 17-11.7 located on the submitted variance application for this request.

Board of Adjustment establishment: Findings listed below are intended for review and discussion by the Board of Adjustment and may be amended and added or struck from the final staff findings as directed by the Board of Adjustment.

Potential Findings for Approval:

1. The applicant has established there are practical difficulties in complying with the official control.
 - a. The plight of the landowner is due to circumstances unique to the property not created by the landowner.
 - b. The deviation from the Ordinance with any attached conditions will still be in harmony with the general purposes and intent of the Ordinance and Comprehensive Plan.
 - c. The variance will not create a land use not permitted in the zone.
 - d. The variance will not alter the essential character of the locality.
 - e. The variance is not for economic reasons alone, but reasonable use of the property does not exist under the ordinance.

Potential Findings for Denial:

2. The applicant has not established there are practical difficulties in complying with the official control.
 - a. The plight of the landowner is due to circumstances unique to the property created by the land owner.
 - b. The deviation from the Ordinance with any attached conditions will not be in harmony with the general purposes and intent of the Ordinance and the Comprehensive Plan.
 - c. The variance will create a land use not permitted in the zone.
 - d. The variance will alter the essential character of the locality.
 - e. The variance is for economic reasons alone, and reasonable use of the property does exist under the ordinance.

Board of Adjustment Direction: The Board of Adjustment can approve, deny, or table this variance request. Findings of fact should be cited if the decision is for approval or denial.

Staff Recommendation: Staff recommends the Board of Adjustment discuss & provide input regarding the proposed findings for approval and/or denial. The applicant has provided their testimony regarding the practical difficulty within the application provided to the City. The City Zoning Ordinance allows for one-time structural additions to existing non-conforming structures as outlined in Section 17.4.4, however, the proposed addition and upgraded septic system meet all required setbacks for the SR/SO zone and per Section 17.4.4 subpart 2, “no such structure or use shall be expanded, enlarged or intensified except in conformity with the provisions of this Chapter with consideration for variances thereto...” and further, the proposed use is in alignment with the City Ordinance and Comprehensive Land Use Plan.

If the Board of Adjustment wishes to approve the request, staff suggests the following recommended conditions of approval:

1. A stormwater management & erosion control plan shall be submitted to the City for review upon submission of a land use permit for construction on the property. The stormwater plan, at a minimum, shall contain information pertaining to temporary or permanent best management practices to direct runoff of stormwater away from adjacent water bodies and parcels, and provide details of the location & type of erosion control methods to be established prior to and throughout construction on the property.
2. The proposed upgrade to the existing septic system for the property shall be processed by application for a land use permit and approved design, concurrently with or prior to any land use permit application for the proposed development.



APP # _____
 SF # _____
 Date _____
 (for office use only)

**CITY OF PEQUOT LAKES
 VARIANCE APPLICATION**

Name of Applicant Mary Jo Kohman Phone 763-614-9231

Address 27088 West Twin Drive Email maryjodi@outlook.com

City, State, Zip Pequot Lakes, MN 56472

Applicant is:

Title Holder of Property:

Legal Owner ()

Mary Jo Kohman

Contract Buyer ()

(Name)

Option Holder ()

10684 38th Circle NE

Agent ()

(Address)

Other _____

St. Michael, MN 55376

(City, State, Zip)

Signature of Owner, authorizing application: _____
 (By signing the owner is certifying that they have read and understood the instructions accompanying this application.)

Signature of Applicant (if different than owner): ~~_____~~ _____
 (By signing the applicant is certifying that they have read and understood the instructions accompanying this application.)

Location of property involved in this request:
27088 West Twin Drive
Pequot Lakes, MN 56472

Legal Description (if metes and bounds, attach sheet): (See on attached Certificate of Survey)

Parcel ID No. 29340505 Zoning District _____

State nature of request in detail: (What are you proposing for the property?)
We are planning a 1236 sq. ft. slab on grade addition with a master bedroom and bathroom, a full size kitchen, pantry, dining/living space, and laundry facilities all on one level. This will allow me to live here in my retirement. The existing cottage will be remodeled to make a more inviting place for my children and grandchildren to join me.

What changes (if any) are you proposing to make to this site?

Building: Construct a new 1236 sq. ft. slab on grade addition to my cottage.

Landscaping: Nothing is planned, only what is required after construction is complete.

Parking/Signs: Two car garage and Driveway. No signs are planned.

Pursuant to the Pequot Lakes City Ordinance, Section 17-11.7, the applicant should be prepared at the public hearing to explain the practical difficulty in complying with the ordinance for the proposed variance. Practical Difficulties is described as: *The property owner proposes to use the property in a reasonable manner not permitted by an official control; the plight of the landowner is due to circumstances unique to the property not created by the landowner; and the variance, if granted, will not alter the essential character of locality. Economic considerations alone do not constitute practical difficulties. Practical difficulties include but are not limited to, inadequate access to direct sunlight for solar energy systems.*

- (1) What are the practical difficulties, or unique circumstances of the parcel size, shape, topography or other characteristics that make strict interpretation of the Ordinance impractical?

The existing cottage is in great condition and was built prior to the 75' OHW setback requirement. All other elements of the property meet the current setback requirements.

- (2) Are the conditions upon which the petition for a variation based unique to the parcel of land for which the variance is sought? If so, were the conditions created by the landowner?

The existing Cottage was built by a prior owner.

- (3) If the variance is granted, will it alter the essential character of the locality? Explain.

No, we do not believe this will alter the essential character of the property. The properties on either side of our cottage were originally built prior to the current setback requirements and have elements of the property encroaching the setback.

- (4) Is the variance request in harmony with the general purpose and intent of the Ordinance?

Yes, the project does not create a greater non-conformance.

- (5) Does the need for a variance involve more than economic considerations? Explain.

Yes, we are looking forward to spending the golden years on West Twin . That would be extremely difficult and impractical without this one-level living area added to my cottage.

- (6) Is the variance request consistent with the Comprehensive Plan?

We believe it is.

- (7) Describe character of the area and the existing patterns and uses of development in the area. How is this proposal consistent with those patterns and uses?

N/A

(8) Describe the impact on the capacity of existing or planned community facilities (sewer, drainage, other). Describe if additional facilities will be required.

N/A

(9) Describe the impact on the character of the neighborhood in which the property is located.

N/A

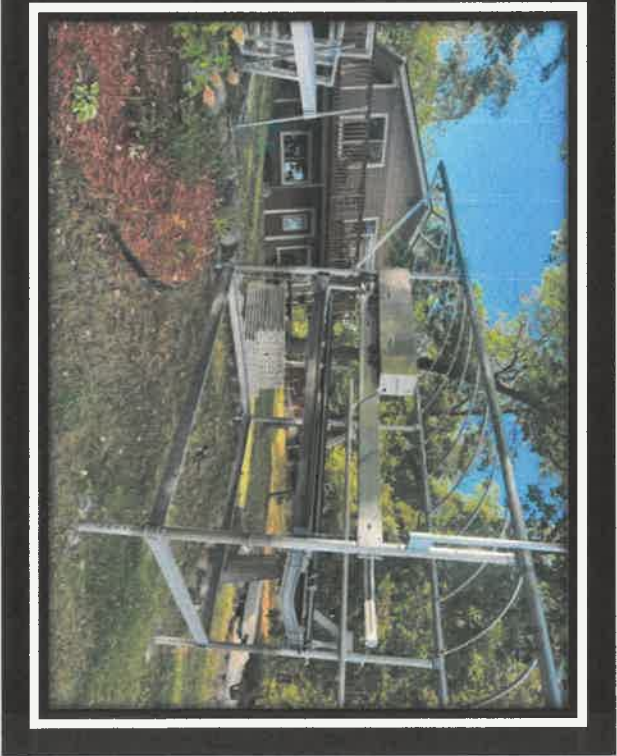
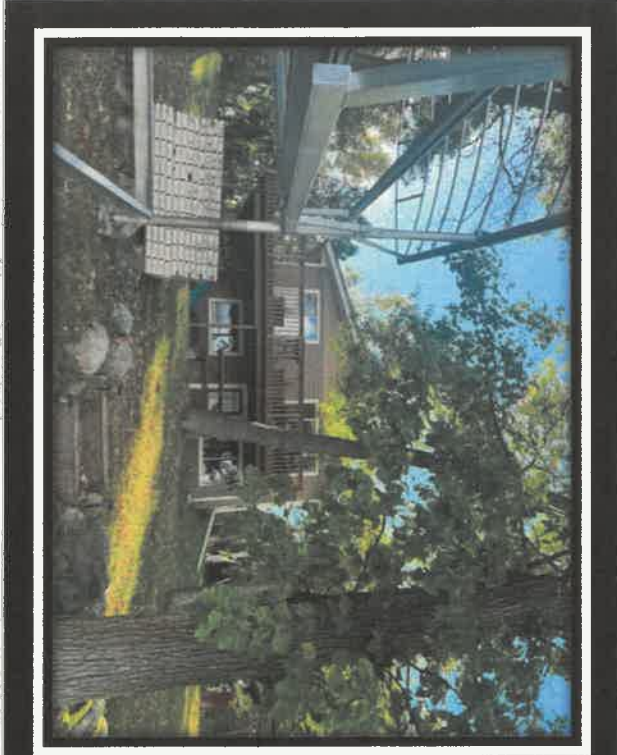
(10) Describe the impact to traffic on roads and highways in the vicinity, and expected traffic generated by this application. Is there adequate parking available to accommodate the proposal?

N/A

(11) Discuss any environmental limitations of the site or area.

N/A

(12) Please include any other comments pertinent to this request.



CERTIFICATE OF SURVEY

PART OF GOVERNMENT LOT 4 OF SECTION 34, TOWNSHIP 136, RANGE 29
CROW WING COUNTY, MINNESOTA



CROW WING COUNTY COORDINATE SYSTEM
(NAD 83 2011 ADJ.)
NAVD 88, GEOID 18

EXISTING LEGAL DESCRIPTION:

The North 80 feet of the South 1,055 feet of Government Lot 4, Section 34, Township 136, Range 29 lying West of West Twin Lake and parallel to the South Boundary of said Government Lot 4; and the North 40 feet of the South 80 feet of that part of Government Lot 4, Section 34, Township 136, Range 29, lying North of a line 895 feet North of and parallel with the South line of Government Lot 4 and lying Westerly of West Twin Lake and lying Easterly of the public road along the West line of Government lot 4, Crow Wing County, Minnesota.

PID: 29340505

Existing Parcel Acreage:

Tax Record Owner:
MARY JO KOHMAN
10683 38TH CIR NE
SAINT MICHAEL MN 55376

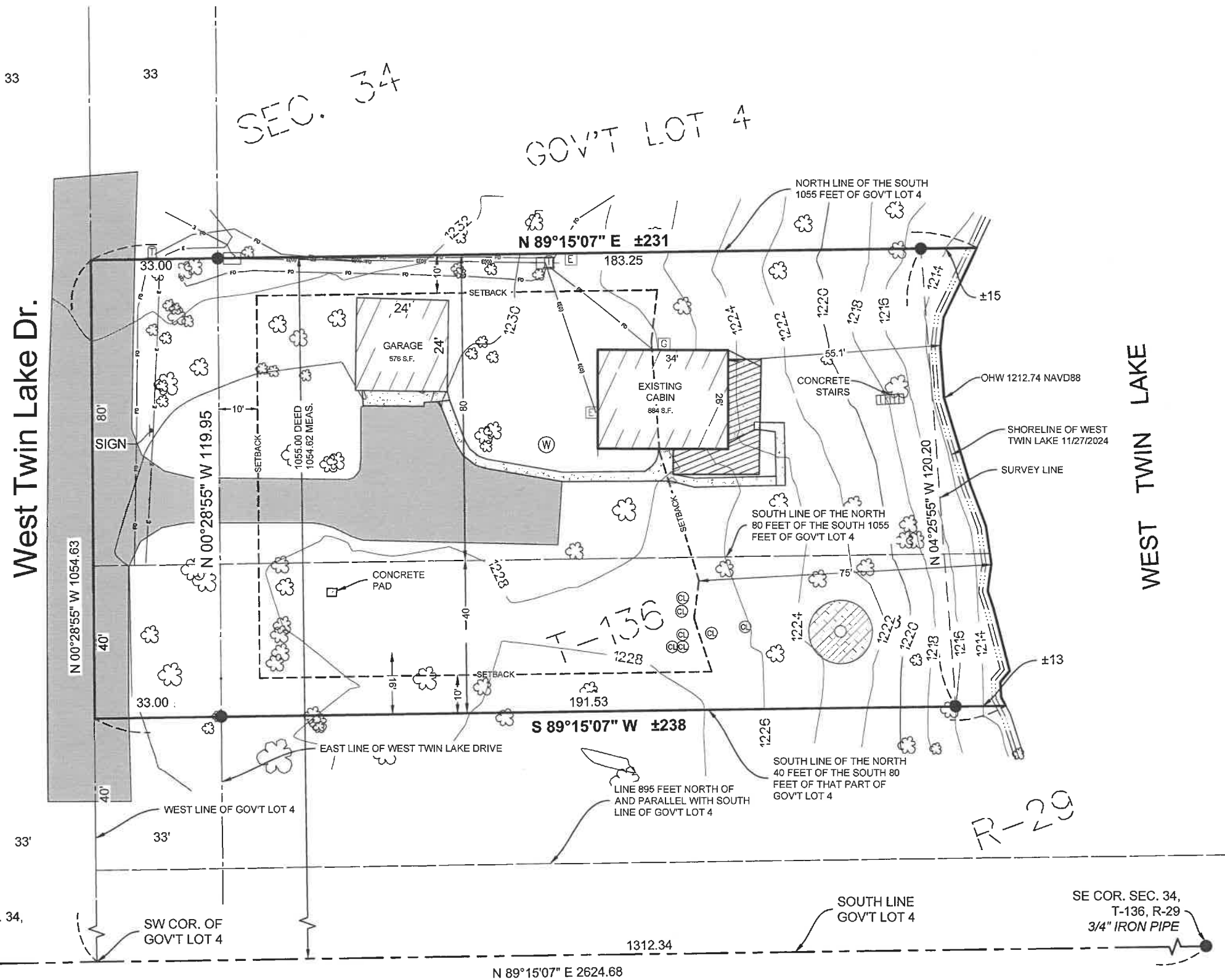
±27,505 sq. ft.
±0.63 acres
Buildable Area = ±10,844 sq. ft

Local Address
27088 W TWIN LAKE DR
PEQUOT LAKES, MN

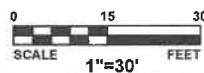
Soil Type
D49A Loamy Sand
(according to Crow Wing
County web mapping)

LEGEND

- | | |
|--|-------------------------|
| ● IRON MONUMENT FOUND | Ⓜ GAS METER |
| ○ DENOTES 5/8" X 18" REBAR SET MARKED BY LICENSE NO. 51693 | □ POWER POLE |
| ▨ EXISTING BUILDING | ⓔ ELECTRIC PEDESTAL |
| ▩ EXISTING DECK | Ⓣ TELEPHONE PEDESTAL |
| ▒ EXISTING ASPHALT | Ⓦ WELL |
| ▓ EXISTING CONCRETE | Ⓢ SEPTIC CLEANOUT |
| — RIGHT OF WAY | 🌳 TREE |
| — OVERHEAD POWER | ▨ EXISTING PATIO PAVERS |
| — UNDERGROUND ELECTRIC | |
| — UNDERGROUND FIBEROPTIC | |



NOTE: THIS SURVEY IS INTENDED ONLY FOR THE BENEFIT OF THE PARTY TO WHOM IT WAS PREPARED FOR AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTY OR FOR ANY OTHER PURPOSE WITHOUT FIRST CONTACTING THE SURVEYOR WHO DEVELOPED AND MADE THIS DRAWING. UNAUTHORIZED REPRODUCTION OF THIS DOCUMENT IS PROHIBITED.



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Jacob M. Backowski
9/24/2025

NAME: JACOB M. BACKOWSKI LIC. NO. 51693 DATE:

REV'D: 9/24/2025
DRAWN: DHB
CHECKED: JMB



TRUE NORTH SURVEYS, P.A.
10103 GILBERT TRAIL
BRAINERD, MN 56401
Phone: 320-360-0157

DATE OF SURVEY: 11/22/2024
JOB #: 2024-155
CLIENT: MARY KOHMAN

SHEET
1
OF
2

CERTIFICATE OF SURVEY
 PART OF GOVERNMENT LOT 4 OF SECTION 34, TOWNSHIP 136, RANGE 29
 CROW WING COUNTY, MINNESOTA
 (PROPOSED CONDITIONS)



CROW WING COUNTY COORDINATE SYSTEM
 (NAD 83 2011 ADJ.)
 NAVD 88, GEOID 18

Existing Parcel Acreage:

±27,505 sq. ft.
 ±0.63 acres

Buildable Area = ±10,844 sq. ft.

Impervious Surface

Existing
 Concrete Areas = 580 sq. ft.
 Cabin = 884 sq. ft.
 Driveway = 1,833 sq. ft.
 Garage = 576 sq. ft.
 Patio = 211 sq. ft.

Total Existing Impervious Surface = 4,084 sq. ft.

Existing Impervious Surface = 14.8%

Impervious Surface

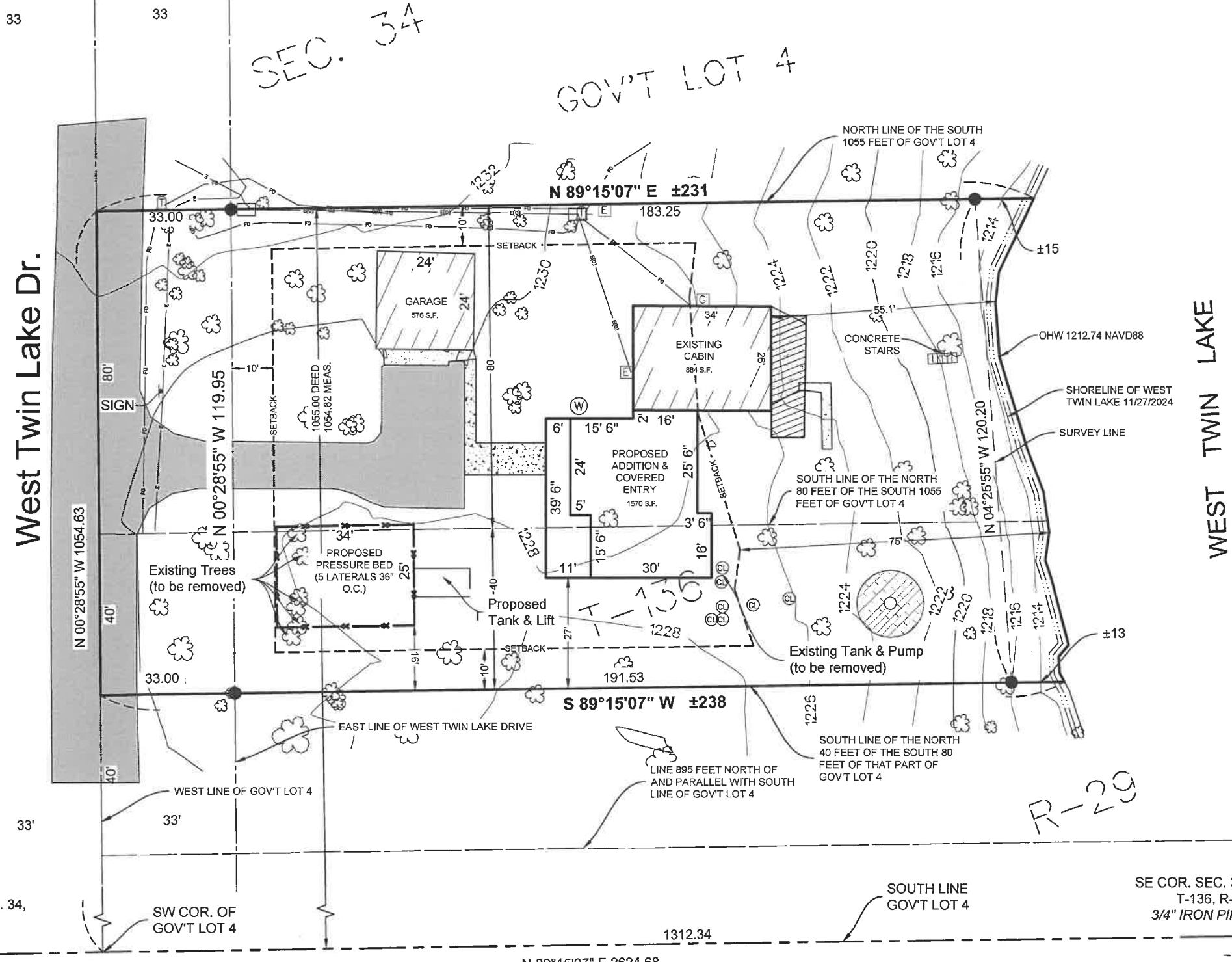
Proposed
 Concrete Areas = 528 sq. ft.
 Cabin = 2,454 sq. ft.
 Driveway = 1,180 sq. ft.
 Garage = 576 sq. ft.
 Patio = 211 sq. ft.

Total Proposed Impervious Surface = 4,949 sq. ft.

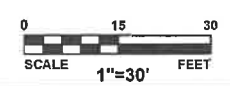
Proposed Impervious Surface = 18.0%

LEGEND

- | | |
|--|-------------------------|
| ● IRON MONUMENT FOUND | ⊞ GAS METER |
| ○ DENOTES 5/8" X 18" REBAR SET MARKED BY LICENSE NO. 51693 | ⊞ POWER POLE |
| ▨ EXISTING BUILDING | ⊞ ELECTRIC PEDESTAL |
| ▨ EXISTING DECK | ⊞ TELEPHONE PEDESTAL |
| ▨ EXISTING ASPHALT | ⊞ WELL |
| ▨ EXISTING CONCRETE | ⊞ SEPTIC CLEANOUT |
| — RIGHT OF WAY | ⊞ TREE |
| — OVERHEAD POWER | ▨ EXISTING PATIO PAVERS |
| — UNDERGROUND ELECTRIC | ▨ PROPOSED ADDITION |
| — UNDERGROUND FIBEROPTIC | ▨ PROPOSED CONCRETE |



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Jacob M. Backowski
 9/24/2025

NAME JACOB M. BACKOWSKI LIC. NO. 51693 DATE:

REV'D: 9/24/2025
 DRAWN: DHB
 CHECKED: JMB



TRUE NORTH SURVEYS, P.A.
 10103 GILBERT TRAIL
 BRAINERD, MN 56401
 Phone: 320-360-0157

DATE OF SURVEY: 11/22/2024 & 9/24/2025
 JOB #: 2024-155
 CLIENT: MARY KOHMAN

SHEET
 2
 OF
 2

KOHMAN CABIN ADDITION

27088 WEST TWIN LAKE DR.
PEQUOT LAKES, MN

9-24-25

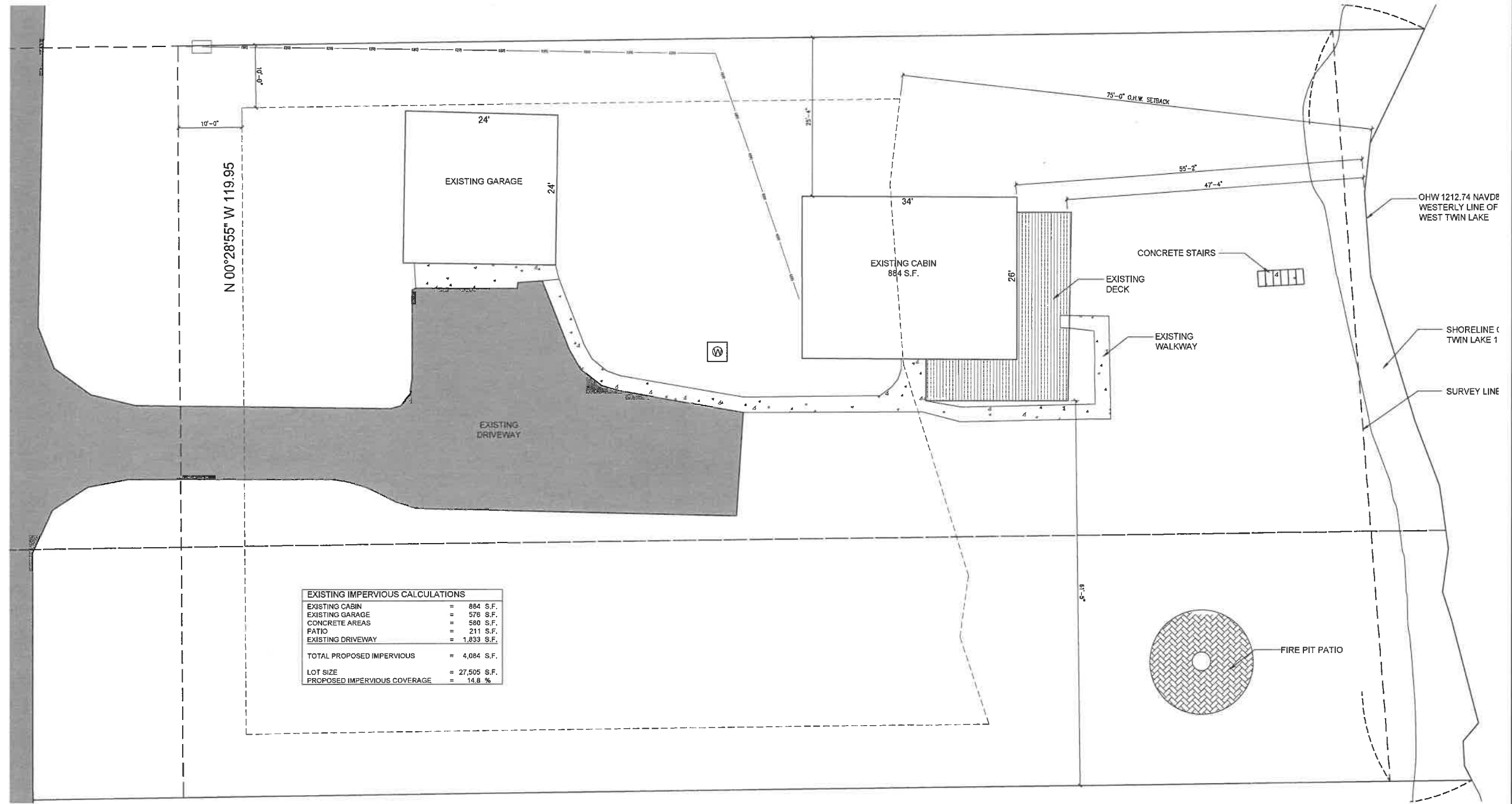
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LIC. # 45743

DATE:

TRAVIS MILLER

**KOHMAN
CABIN ADDITION**
27088 WEST TWIN LAKE DR.
PEQUOT LAKES, MN

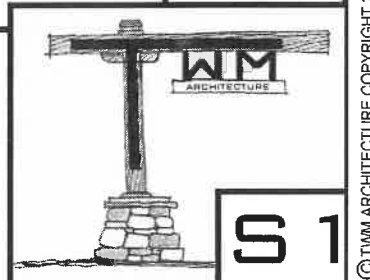


EXISTING IMPERVIOUS CALCULATIONS	
EXISTING CABIN	= 884 S.F.
EXISTING GARAGE	= 576 S.F.
CONCRETE AREAS	= 580 S.F.
PATIO	= 211 S.F.
EXISTING DRIVEWAY	= 1,833 S.F.
TOTAL PROPOSED IMPERVIOUS	= 4,084 S.F.
LOT SIZE	= 27,505 S.F.
PROPOSED IMPERVIOUS COVERAGE	= 14.8 %

1 EXISTING SITE PLAN
1/8" = 1'-0" ON 24 X 36 PAPER

DRAWING INDEX

- ARCHITECTURAL**
- S1 - TITLE SHEET & EXISTING SITE PLAN
 - S2 - PROPOSED SITE PLAN
 - A0 - EXISTING PLANS & ELEVATIONS
 - A1 - DEMO PLANS & ELEVATIONS
 - A2 - FOUNDATION PLAN & DETAILS
 - A3 - BASEMENT FLOOR PLAN
 - A4 - FIRST FLOOR PLAN & FINISH SCHEDULE
 - A5 - EXTERIOR & WINDOW ELEVATIONS
 - A6 - SECTIONS & ROOF PLAN



GENERAL DEMOLITION NOTE
 G.C. TO COORDINATE REMOVAL OF ALL EXISTING BUILDING AND SITE ELEMENTS WITH OWNER. VERIFY EXTENT OF REMOVAL OF DRIVES, WALKS, PATIOS, TREES AND LANDSCAPING TO ALLOW FOR NEW CONSTRUCTION. COORDINATE REMOVAL OR RELOCATION OF EXISTING UTILITIES & SEPTIC SYSTEM W/ OWNER AND UTILITY COMPANIES.

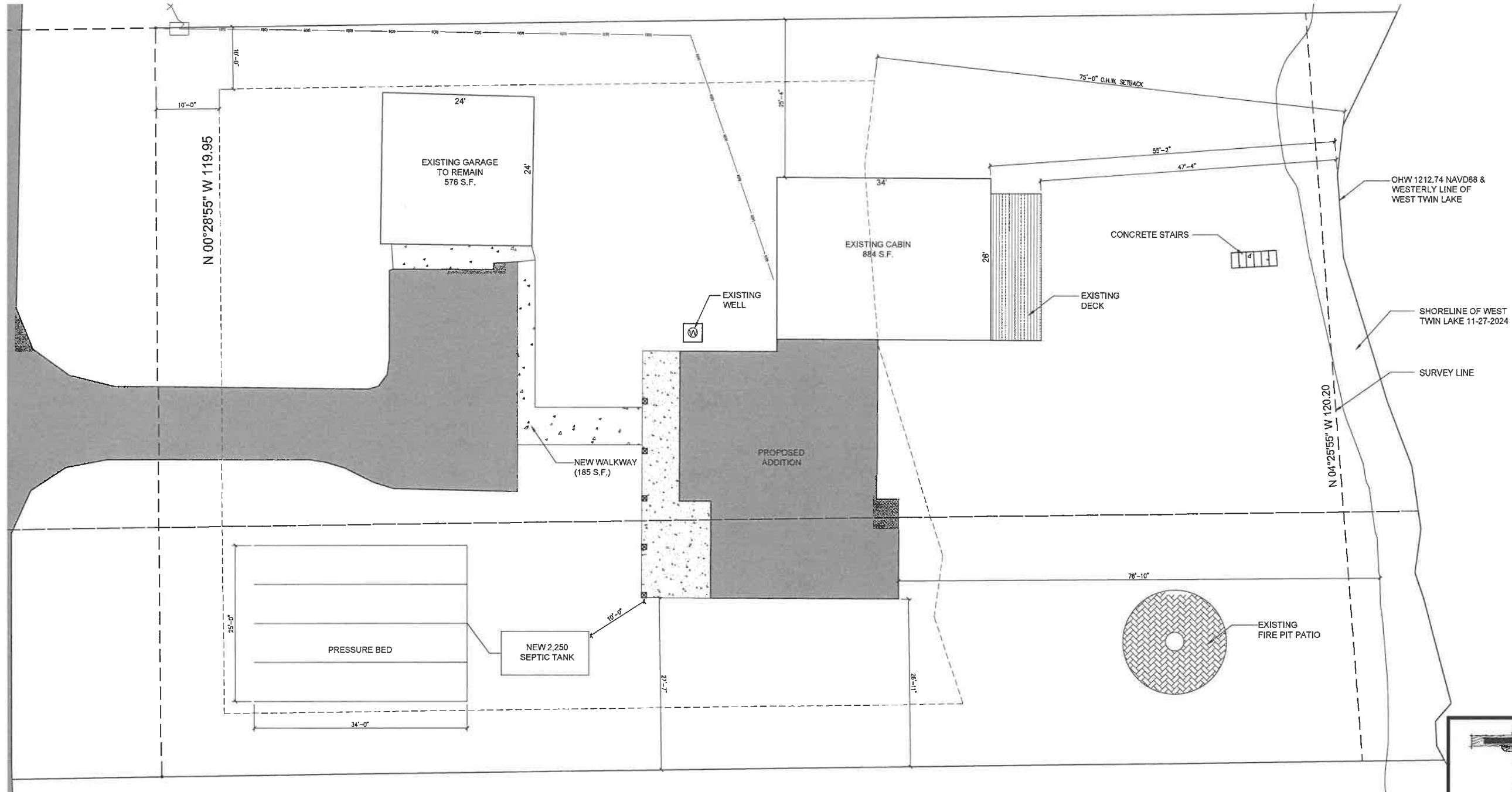
PROPOSED IMPERVIOUS CALCULATIONS

EXISTING CABIN & NEW	= 2,454 S.F.
EXISTING GARAGE	= 576 S.F.
PATIO	= 211 S.F.
CONCRETE AREAS	= 528 S.F.
EXISTING DRIVEWAY	= 1,180 S.F.
TOTAL PROPOSED IMPERVIOUS	= 4,949 S.F.
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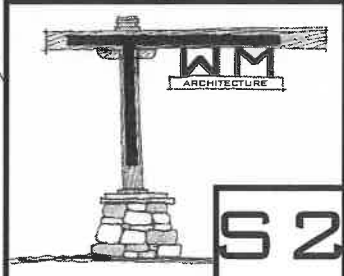
- SITE NOTES**
- CONTRACTOR TO VERIFY ALL EXISTING GRADES AND STAKE OUT THE BUILDING FOOTPRINT FOR OWNER/ ARCHITECT APPROVAL PRIOR TO BEGINNING ANY SITE WORK.
 - VERIFY ALL UTILITY ROUTING W/ APPLICABLE UTILITY COMPANY.
 - FIELD VERIFY PROPOSED UTILITY REQUIREMENTS W/ EXISTING CONDITIONS ON SITE WITH OWNER & G.C. VERIFY INSTALLATION OF NEW SEPTIC SYSTEM, WELL, ETC. TO CONFORM W/ COUNTY & STATE REGULATIONS.
 - PROVIDE POSITIVE DRAINAGE AT BUILDING PERIMETER (SLOPE AWAY FROM BUILDING AT 1:12 MIN).
 - IF A SOILS REPORT IS UNAVAILABLE, UPON COMPLETION OF THE EXCAVATION, IT IS RECOMMENDED THAT THE OWNER RETAIN A GEOTECHNICAL ENGINEER TO INSPECT, TEST, AND APPROVE THE SUBSURFACE CONDITIONS IN ORDER TO VERIFY THE ADEQUACY OF THE FOUNDATION DESIGN PRIOR TO PLACING ANY CONCRETE. TEST RESULTS SHALL BE SUBMITTED TO THE AUTHORITIES HAVING JURISDICTION.
 - FIELD VERIFY TREES TO BE REMOVED & THOSE TO REMAIN W/ OWNER.
 - VERIFY ALL LANDSCAPING LAYOUTS AND DESIGN.

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TRAVIS MILLER DATE: LIC. # 45743



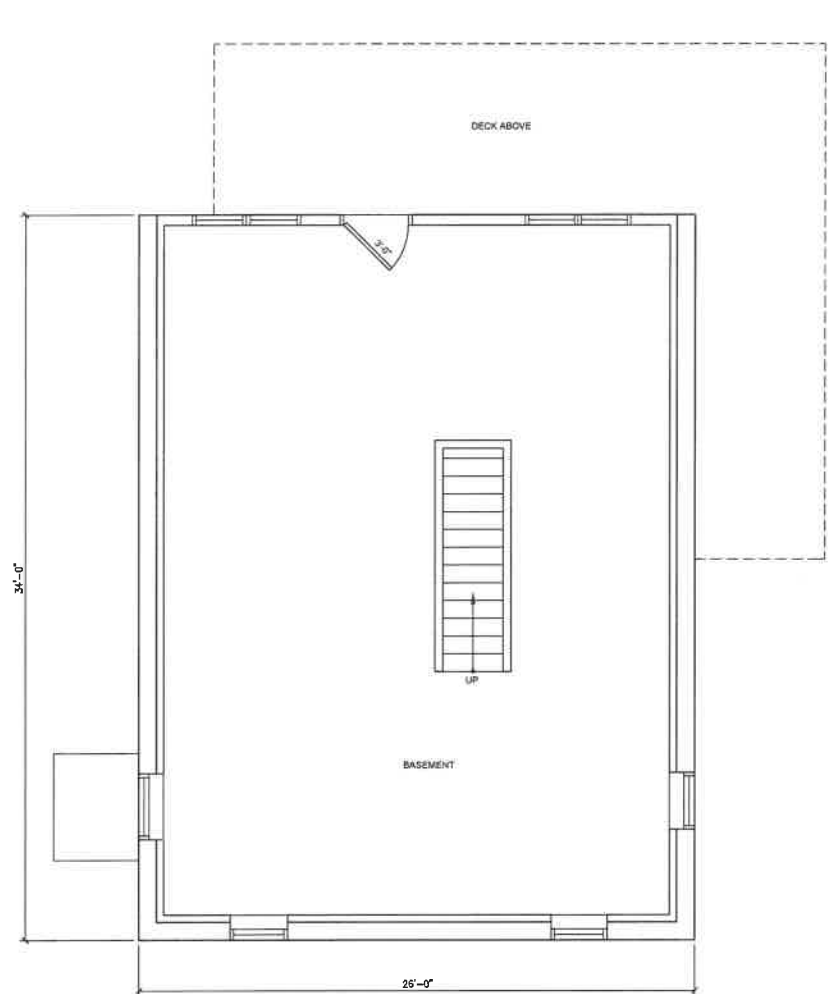
KOHMAN CABIN ADDITION
 27088 WEST TWIN LAKE DR.
 PEQUOT LAKES, MN



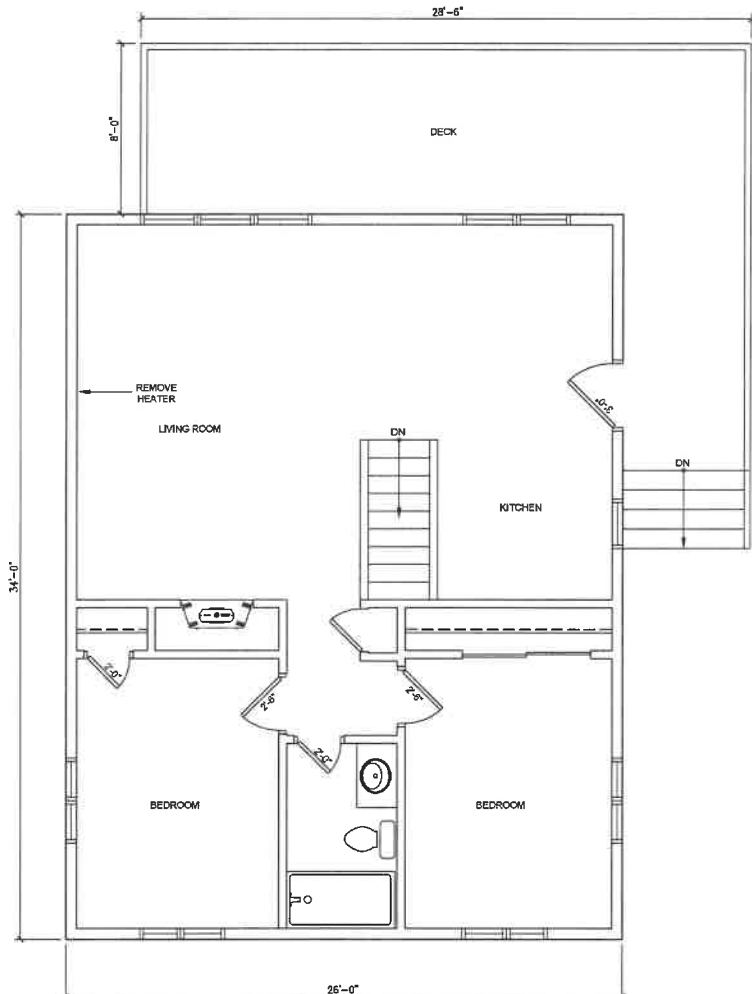
1 PROPOSED SITE PLAN
 1/8" = 1'-0" ON 24 X 36 PAPER

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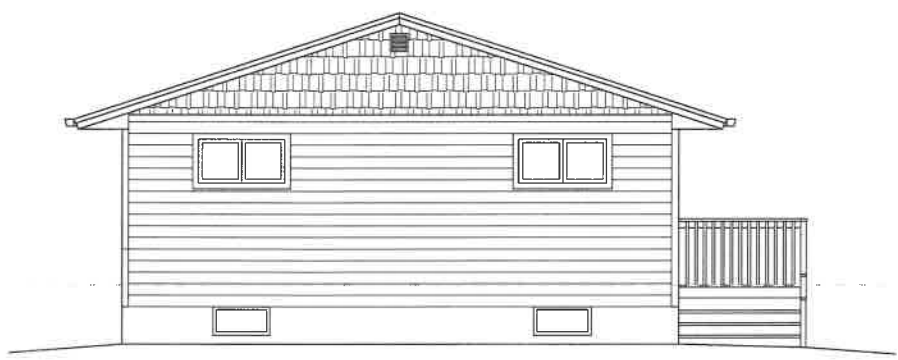
1 EXISTING BASEMENT FLOOR PLAN
1/4" = 1'-0" ON 24 X 36 PAPER



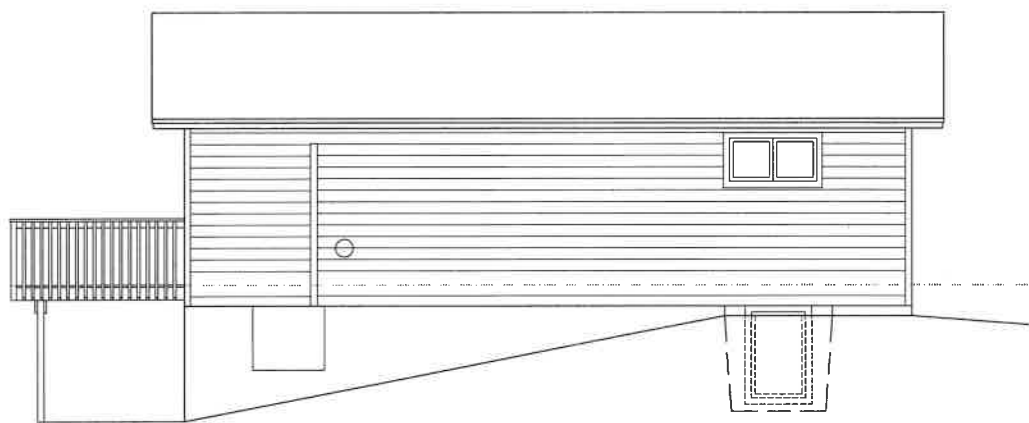
2 EXISTING MAIN FLOOR PLAN
1/4" = 1'-0" ON 24 X 36 PAPER



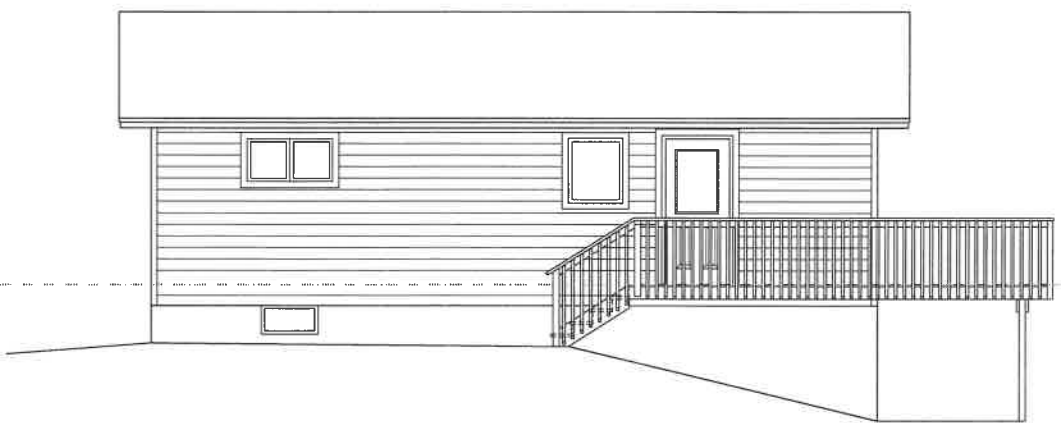
3 EXISTING EAST ELEVATION
1/4" = 1'-0" ON 24 X 36 PAPER



4 EXISTING WEST ELEVATION
1/4" = 1'-0" ON 24 X 36 PAPER

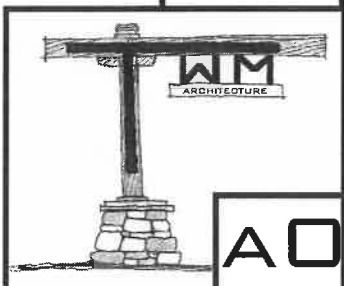


5 EXISTING NORTH ELEVATION
1/4" = 1'-0" ON 24 X 36 PAPER



6 EXISTING SOUTH ELEVATION
1/4" = 1'-0" ON 24 X 36 PAPER

KOHMAN
CABIN ADDITION
27088 WEST TWIN LAKE DR.
PEQUOT LAKES, MN

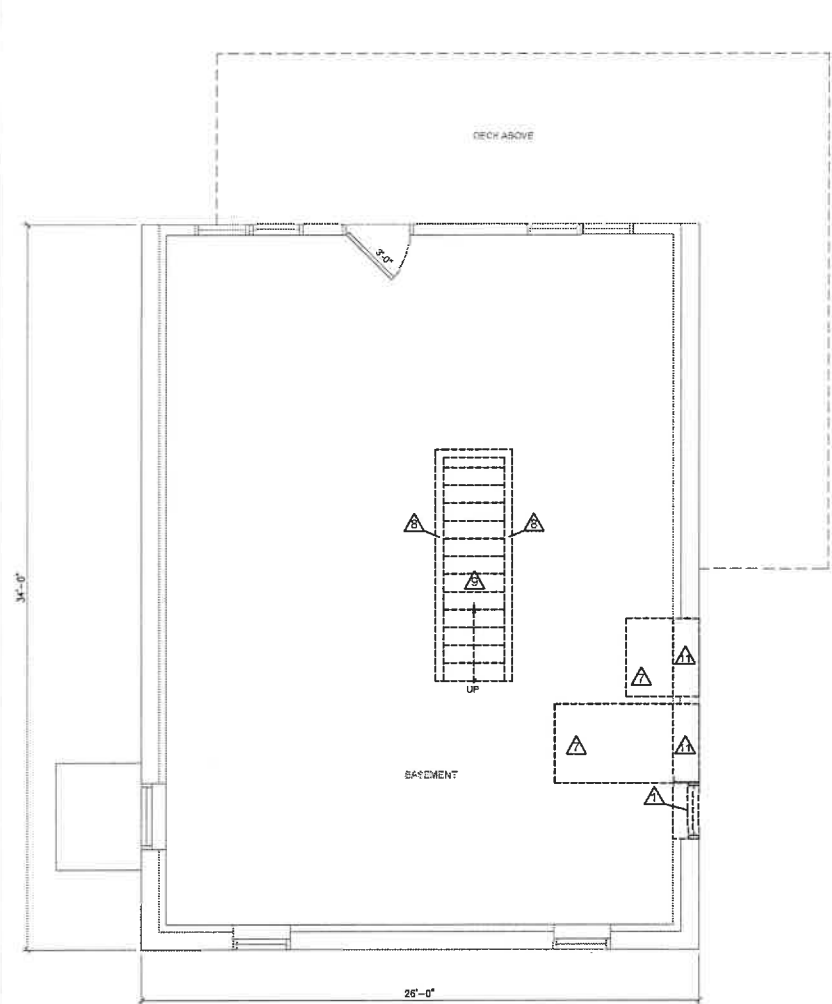


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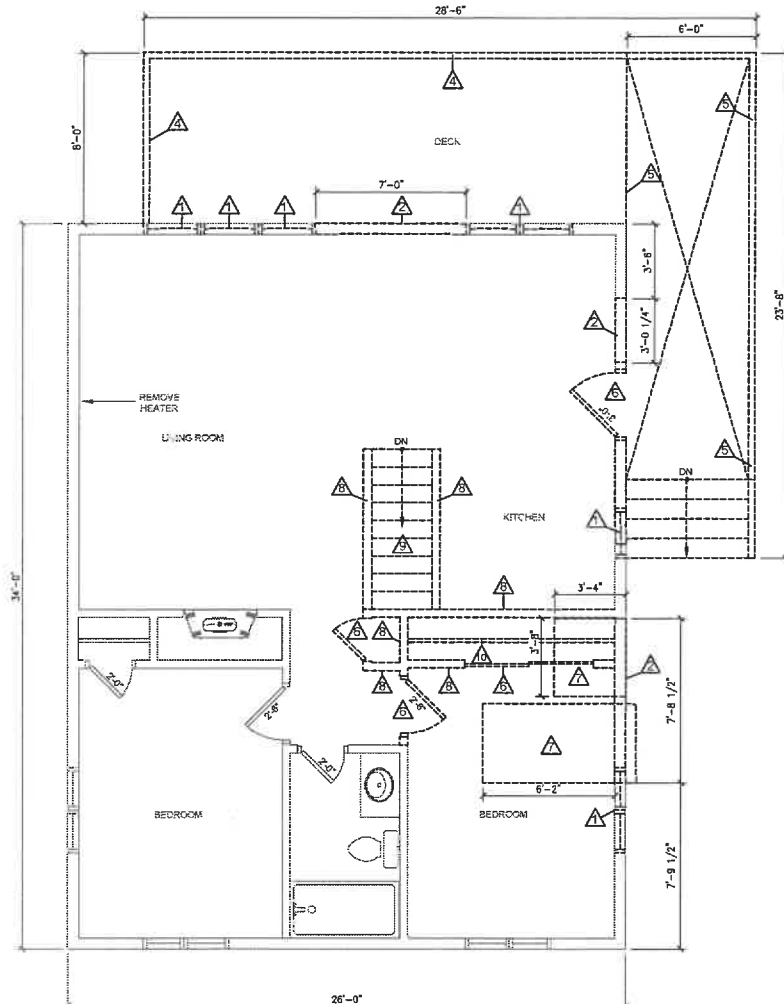
LIC. # 45743

DATE:

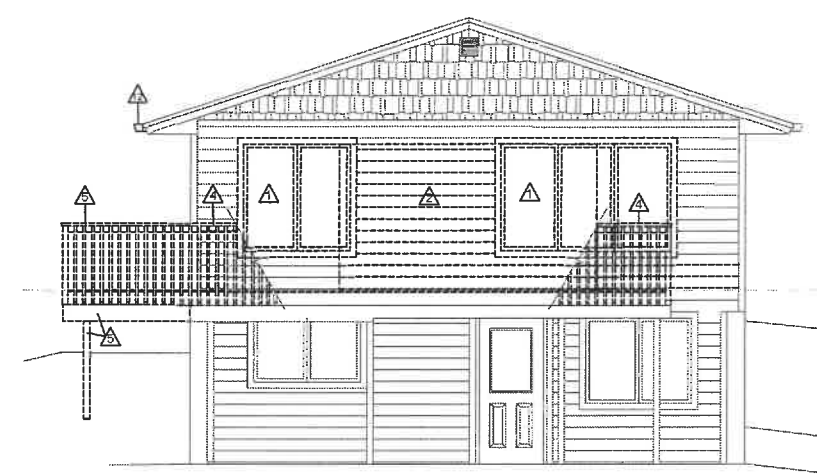
TRAVIS MILLER



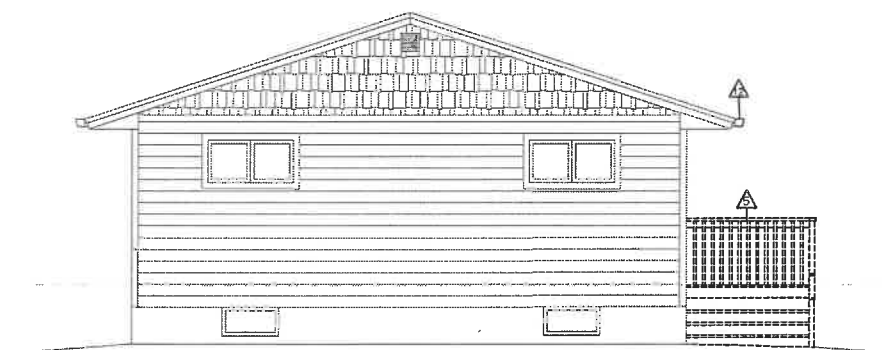
1 DEMO BASEMENT FLOOR PLAN
1/4" = 1'-0" ON 24 X 36 PAPER



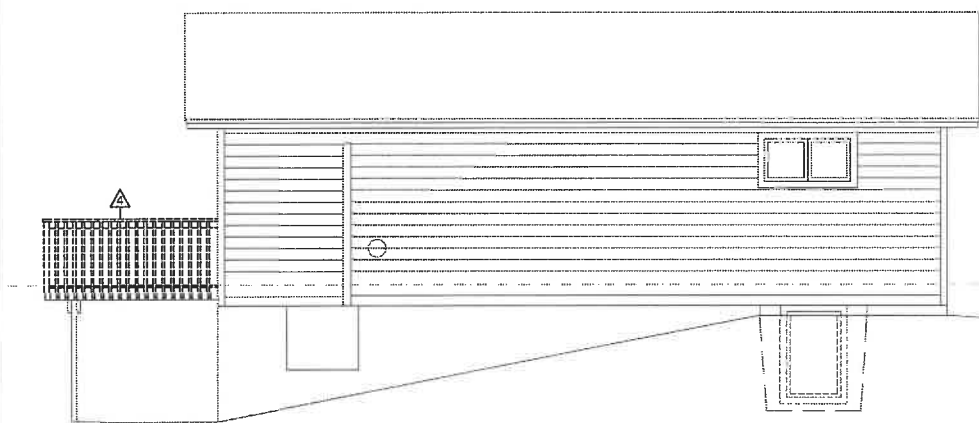
2 DEMO MAIN FLOOR PLAN
1/4" = 1'-0" ON 24 X 36 PAPER



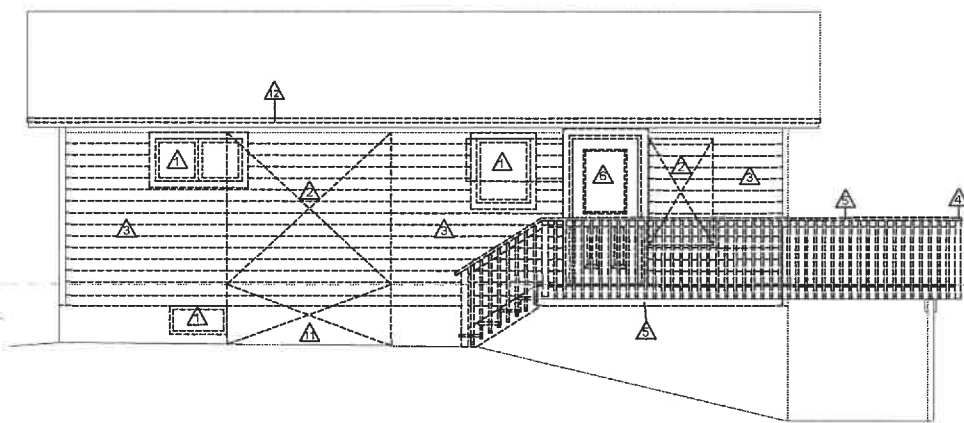
3 DEMO EAST ELEVATION
1/4" = 1'-0" ON 24 X 36 PAPER



4 DEMO WEST ELEVATION
1/4" = 1'-0" ON 24 X 36 PAPER



5 EXISTING NORTH ELEVATION
1/4" = 1'-0" ON 24 X 36 PAPER



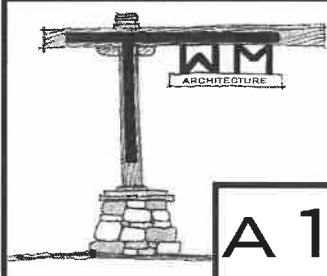
6 EXISTING SOUTH ELEVATION
1/4" = 1'-0" ON 24 X 36 PAPER

DEMOLITION KEY

- REMOVE EXISTING WINDOW
- CUT NEW OPENING IN EXISTING WALL
- REMOVE EXISTING SIDING
- REMOVE EXISTING DECK RAIL
- REMOVE EXISTING DECKING, FRAMING & RAIL
- REMOVE EXISTING DOOR
- REMOVE EXISTING FLOOR SYSTEM AS REQUIRED FOR NEW STAIR
- REMOVE EXISTING WALL
- REMOVE EXISTING STAIR
- REMOVE EXISTING CLOSET HARDWARE
- ADJUST CMU WALL AS REQUIRED FOR NEW STAIR
- REMOVE EXISTING GUTTER

NOTES:
1. VERIFY ALL DIMENSIONS, COORDINATE WITH NEW ARCHITECTURAL DRAWINGS
2. COORDINATE REMOVAL/RELOCATION OF ANY LIGHT FIXTURES OR HVAC COMPONENTS W/ DESIGN BUILD ELECTRICAL & MECHANICAL CONTRACTORS
3. VERIFY REMOVAL OF SIDING ON EXISTING GARAGE AND CABIN

KOHMAN
CABIN ADDITION
27088 WEST TWIN LAKE DR.
PEQUOT LAKES, MN



A1

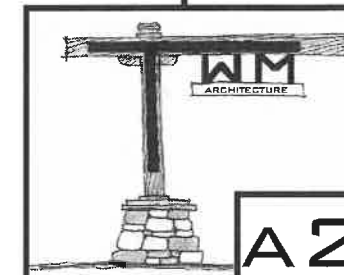
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LIC. # 45743

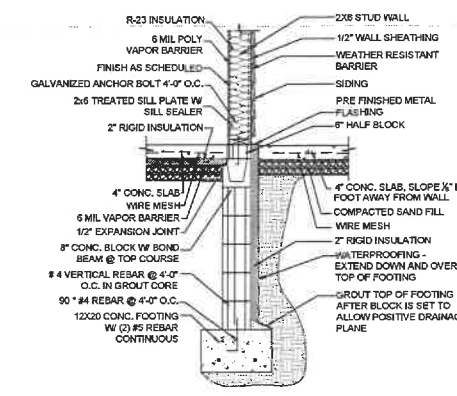
DATE:

TRAVIS MILLER

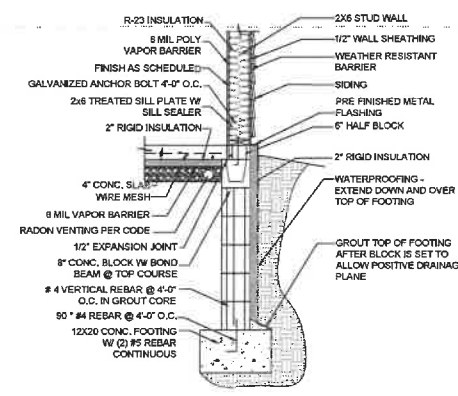
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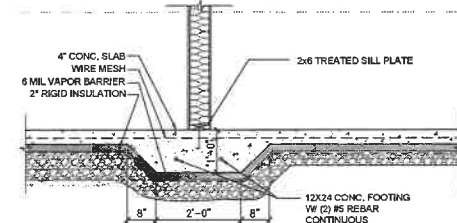
A2



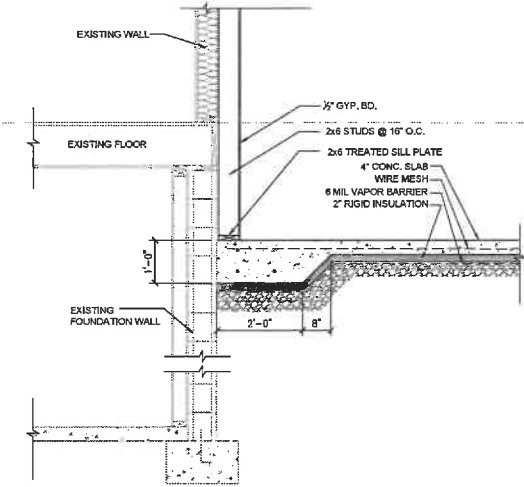
3 FOUNDATION DETAIL
1/2" = 1'-0" ON 24 X 36 PAPER



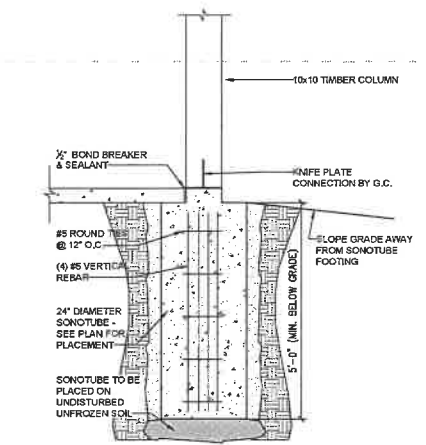
2 FOUNDATION DETAIL
1/2" = 1'-0" ON 24 X 36 PAPER



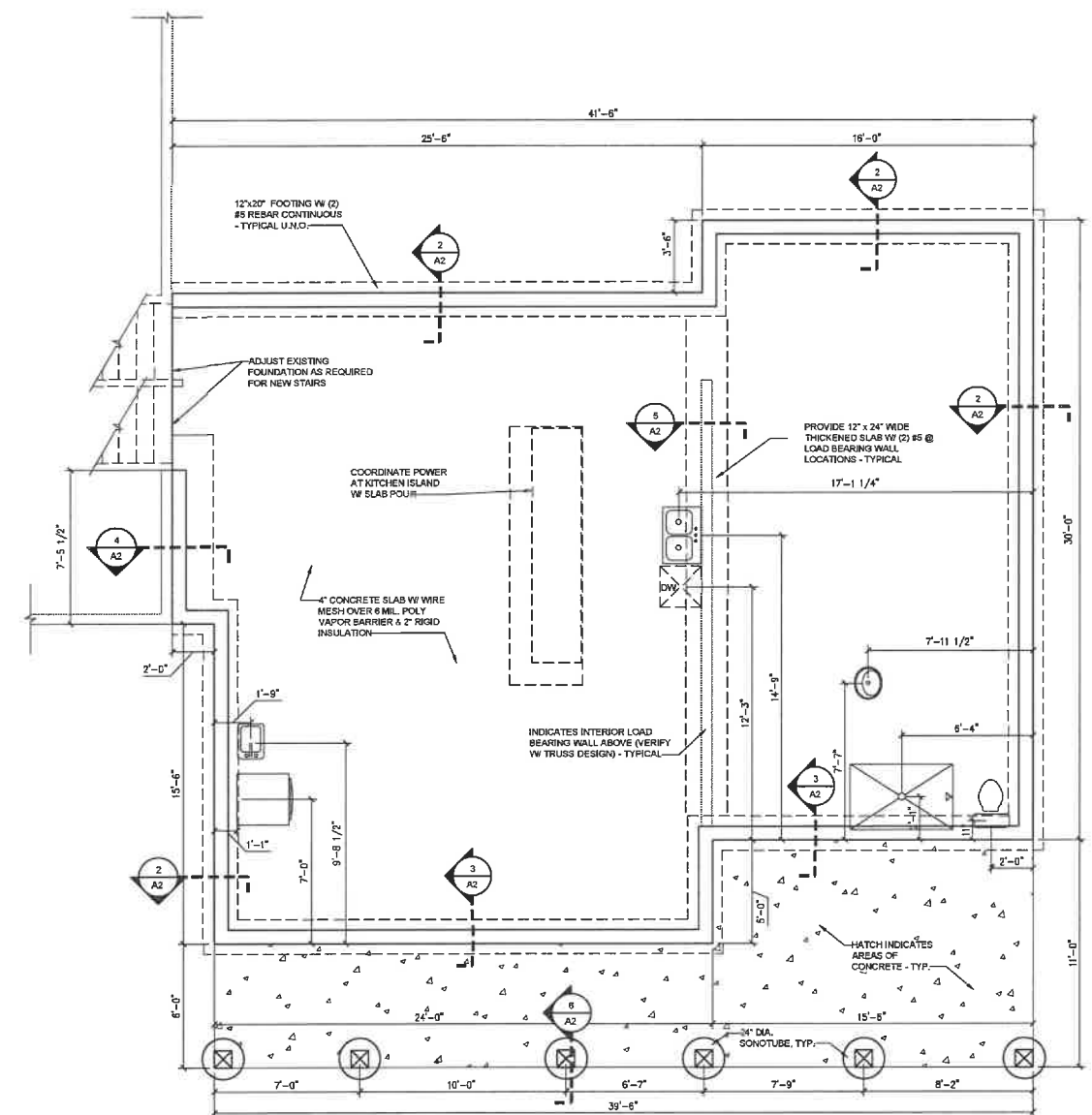
5 FOUNDATION DETAIL
1/2" = 1'-0" ON 24 X 36 PAPER



4 FOUNDATION DETAIL
1/2" = 1'-0" ON 24 X 36 PAPER



6 FOUNDATION DETAIL
1/2" = 1'-0" ON 24 X 36 PAPER



- GENERAL NOTES:**
1. PLAN IS DIMENSIONED TO OUTSIDE OF MASONRY FOUNDATION WALL.
 2. RADON VENTING PER CODE.
 3. PROVIDE VERTICAL 2" EXTRUDED POLYSTYRENE INSULATION FOR ENTIRE HEIGHT OF FOUNDATION WALL.
 4. VERIFY ALL PLUMBING FIXTURE LOCATIONS WITH ARCH. PLANS. VERIFY ALL FAUCET AND DRAIN LOCATIONS W/ SELECTED FIXTURES.
 5. PROVIDE INSULATION THERMAL BREAK AT ALL DOOR/PATIO AREAS.
 6. FIELD VERIFY ALL PATIO SLAB ELEVATIONS W/ OWNER INCLUDING FINAL SURFACE FINISH. PROVIDE THICKENED EDGES - TYPICAL.
 7. COORDINATE ALL PLUMBING & ELECTRICAL SYSTEMS PRIOR TO SLAB POUR.
 8. SEAL ALL PENETRATIONS THRU POLY VAPOR BARRIER COMPLETE.
 9. SLOPE SLAB TO MECH. DRAINS (VERIFY LOCATION W/ EQUIP. LAYOUT)

- FOUNDATION, STRUCTURAL & FRAMING COORDINATION NOTES:**
- ROOF TRUSS FRAMING LAYOUTS AND SIZES ARE TO BE VERIFIED BY THE TRUSS SUPPLIER DESIGNER TO COMPLY WITH CODE REQUIREMENTS.
 - FRAMING AND CONCRETE CONTRACTORS TO COORDINATE ALL BEARING POINTS WITH FINAL TRUSS LAYOUT. PROVIDE CONTINUOUS BEARINGS TO FOOTINGS AT ALL TRUSS BEARING LOCATIONS.
 - FRAMING CONTRACTOR TO COORDINATE ALL BEAM & HEADER SIZES/ LOCATIONS AND GANG STUD REQUIREMENTS W/ TRUSS SUPPLIER.
 - TRUSS SUPPLIER TO PROVIDE ALL TRUSS CLIPS AND HANGERS AS REQUIRED.
 - COORDINATE ALL ANCHOR BOLTS, HOLD DOWNS, ETC. PRIOR TO ANY WORK.
 - CONCRETE & MASONRY CONTRACTORS TO PROVIDE CONCRETE SLAB & MASONRY CONTROL JOINTS AS REQUIRED (12'-0" MAXIMUM SPACING).
 - FOOTING REINFORCEMENTS IS TO BE LOCATED 3" CLEAR FROM THE BOTTOM & SIDE OF THE SLAB UNLESS NOTED OTHERWISE.

1 FOUNDATION PLAN
1/4" = 1'-0" ON 24 X 36 PAPER



A2

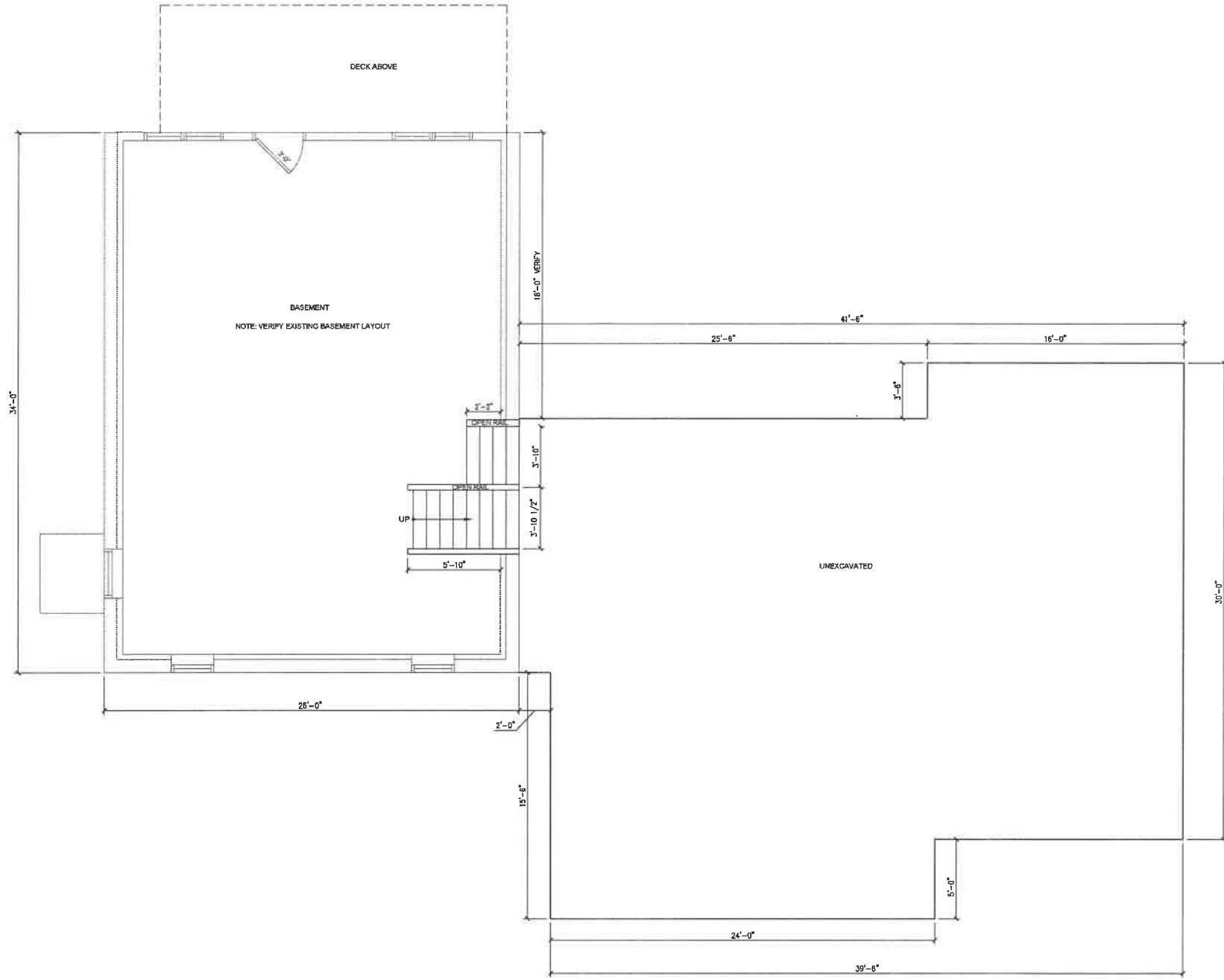
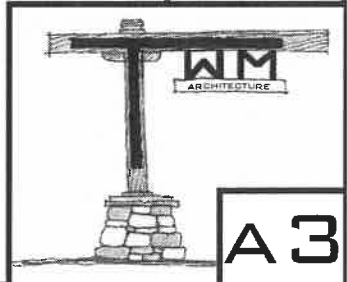
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LIC. # 45743

DATE:

TRAVIS MILLER

**KOHMAN
CABIN ADDITION**
27088 WEST TWIN LAKE DR.
PEQUOT LAKES, MN



1 BASEMENT FLOOR PLAN
1/4" = 1'-0" ON 24 X 36 PAPER



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DATE:

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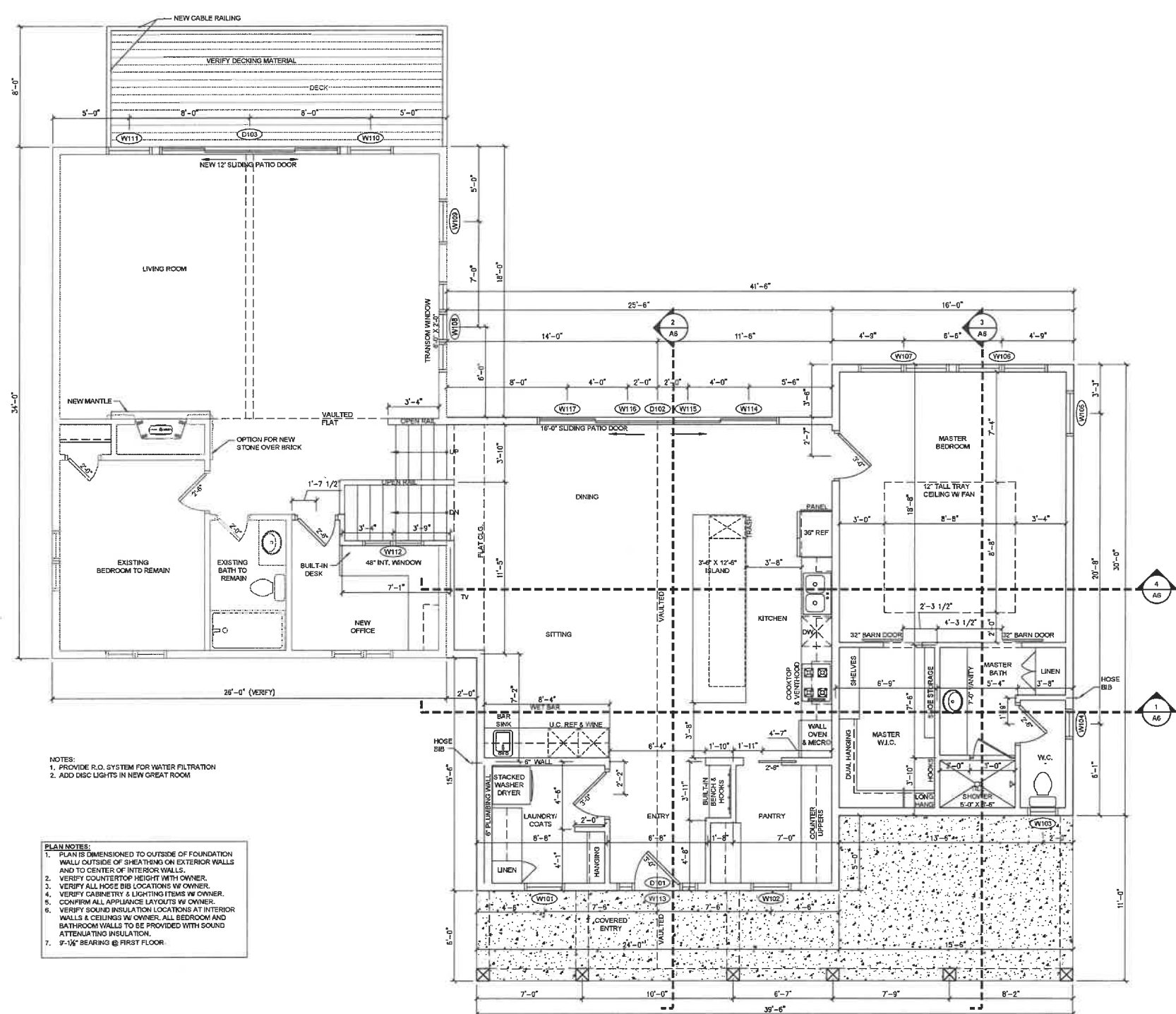
WIDW NO.	LOCATION	ANDERSEN 100 SERIES #	WINDOW OPERATION	R.O. SIZE (W x H)	HEAD HEIGHT	HEADER MATERIAL	REMARKS
W101	LAUNDRY/COATS	CS2540	CASEMENT	2'-6" X 4'-0"	6'-10 1/2"	(2) 2X10	
W102	W.C.	CS2030	CASEMENT	2'-0" X 3'-0"	6'-10 1/2"	(2) 2X10	
W103	W.C.	CS2030	CASEMENT	2'-0" X 3'-0"	6'-10 1/2"	(2) 2X10	
W104	W.C.	CS2030	CASEMENT	2'-0" X 3'-0"	6'-10 1/2"	(2) 2X10	
W105	MASTER BEDROOM	CS3050	CASEMENT	3'-0" X 6'-0"	6'-10 1/2"	(2) 2X10	
W106	MASTER BEDROOM	CD3050-2	CASEMENT	6'-0" X 6'-0"	6'-10 1/2"	(2) 9 1/2" LVL	
W107	MASTER BEDROOM	CD3050-2	CASEMENT	6'-0" X 5'-0"	6'-10 1/2"	(2) 9 1/2" LVL	
W108	LIVING ROOM	AS2020-3	AWNING	6'-0 1/4" X 2'-0 1/4"	6'-10 1/2"	(2) 9 1/2" LVL	
W109	LIVING ROOM	CS3006AS3016	PICT./AWNING	3'-0 1/4" X 6'-0 1/4"	6'-10 1/2"	(2) 2X10	
W110	LIVING ROOM	CS3006AS3016	PICT./AWNING	3'-0 1/4" X 6'-0 1/4"	6'-10 1/2"	(2) 2X10	
W111	LIVING ROOM	CS3006AS3016	PICT./AWNING	3'-0 1/4" X 6'-0 1/4"	6'-10 1/2"	(2) 2X10	
W112	OFFICE	ZW 2'-0" X 3'-0"	DIRECT GLAZE	4'-0 1/4" X 3'-0 1/4"	6'-10 1/2"	(2) 2X10	
W113	ENTRY	SEE DTL. S44	PICTURE	-	SILL = 10'-1"	-	
W114	DINING	SEE DTL. S44	PICTURE	-	SILL = 8'-7 1/2"	-	
W115	DINING	SEE DTL. S44	PICTURE	-	SILL = 8'-7 1/2"	-	
W116	DINING	SEE DTL. S44	PICTURE	-	SILL = 8'-7 1/2"	-	
W117	DINING	SEE DTL. S44	PICTURE	-	SILL = 8'-7 1/2"	-	

REMARKS:
 1. PROVIDE ALL NECESSARY HARDWARE FOR EGRESS WINDOW AT UNIT LOCATIONS IDENTIFIED ON THE FLOOR PLAN.
 2. VERIFY MILLING REQUIREMENTS/ REINFORCEMENTS WITH MANUFACTURER. ADJUST P.O. AS REQD.
 3. VERIFY ALL ROUGH OPENINGS (R.O.)
 4. VERIFY OPERATIONS W/ OWNER

DOOR NO.	LOCATION	COMPANY	TYPE	UNIT R.O. (W x H)	HEAD HEIGHT	HEADER MATERIAL	REMARKS
D101	ENTRY	TBD	IN-SWING	5'-2 1/2" x 6'-10 1/2"	6'-10 1/2"	(2) 9 1/2" LVL	
D102	DINING	ANDERSEN	SLIDING PATIO - FWGCD - 4-1510511	15'-10" x 6'-11"	6'-11"	(3) 14" LVL	
D103	LIVING ROOM	ANDERSEN	SLIDING PATIO - FWGCD - 4-1110511	11'-10" x 6'-11"	6'-11"	(3) 11 7/8" LVL	

NOTE:
 1. VERIFY HARDWARE STYLE/COLOR W/ OWNER
 2. PROVIDE TEMPERED GLASS FOR SAFETY AND/OR CODE REQUIREMENTS.
 3. VERIFY STYLE/MANUFACTURER W/ OWNER
 4. VERIFY ALL ROUGH OPENINGS (R.O.)

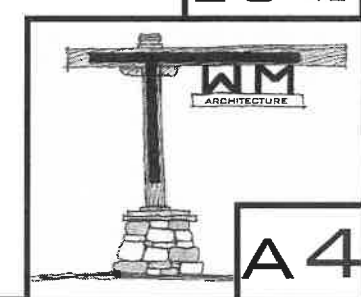
DOOR/ WINDOW NOTES:
 ** WINDOWS SPECIFIED ON THE FLOOR PLANS AND SCHEDULES ARE ANDERSEN 100 SERIES (BLACK EXTERIOR & INTERIOR)
 ** EXTERIOR DOORS SPECIFIED ON THE FLOOR PLANS AND SCHEDULES ARE ANDERSEN AND "TBD" BUILT IN-SWING DOORS.
 * DUAL GLAZED "LOW E ARGON" GLASS TO BE PROVIDED AT ALL EXTERIOR WINDOWS AND DOOR LOCATIONS WITH GLAZING.
 * FIELD VERIFY ALL ROUGH OPENINGS PRIOR TO ORDERING WINDOWS/ DOORS. OTHER WINDOW DOOR MFGRS MUST BE APPROVED BY OWNER. G.C. IS RESPONSIBLE FOR ADJUSTING ALL ROUGH OPENING DIMENSIONS PER MFGR RECOMMENDATIONS.
 * SEE EXTERIOR ELEVATIONS FOR WINDOW OPERATION. (VERIFY W/ OWNER PRIOR TO ORDERING)
 * SEE PLAN FOR DOOR SIZES, SWING, & FUNCTION. VERIFY STYLE AND FINISH OF ALL DOORS.
 * ALL INTERIOR DOORS ON THE FIRST FLOOR TO BE 6'-6" PROVIDE WEATHERSTRIPPING AND ALUMINUM THRESHOLDS AT ALL EXTERIOR DOORS.
 * VERIFY JAMB WIDTHS AND WALL THICKNESS PRIOR TO INSTALLATION.
 * WINDOW SUPPLIER/ MANUFACTURER TO PROVIDE SAFETY GLASS TO COMPLY WITH CODE REQUIREMENTS.
 * INSULATE ALL EXTERIOR SHIM SPACES W/ MINIMUM EXPANDABLE SPRAY FOAM INSULATION.
 * WRAP ALL EXTERIOR OPENINGS WITH SELF ADHESIVE MEMBRANE FLASHING IN ACCORDANCE WITH WINDOW MANUFACTURER RECOMMENDATIONS.
 * PROVIDE HEAD FLASHING AT ALL EXTERIOR OPENINGS.
 * PROVIDE SCREENS AT OPERATING WINDOW UNITS



- NOTES:
 1. PROVIDE R.O. SYSTEM FOR WATER FILTRATION
 2. ADD DISC LIGHTS IN NEW GREAT ROOM

- PLAN NOTES:
 1. PLANS DIMENSIONED TO OUTSIDE OF FOUNDATION WALL/ OUTSIDE OF SHEATHING ON EXTERIOR WALLS AND TO CENTER OF INTERIOR WALLS.
 2. VERIFY COUNTERTOP HEIGHT WITH OWNER.
 3. VERIFY ALL HOSE BIB LOCATIONS W/ OWNER.
 4. VERIFY CABINETRY & LIGHTING ITEMS W/ OWNER.
 5. CONFIRM ALL APPLIANCE LAYOUTS W/ OWNER.
 6. VERIFY SOUND INSULATION LOCATIONS AT INTERIOR WALLS & CEILINGS W/ OWNER. ALL BEDROOM AND BATHROOM WALLS TO BE PROVIDED WITH SOUND ATTENUATING INSULATION.
 7. 8'-1 1/2" BEARING @ FIRST FLOOR.

1 MAIN LEVEL FLOOR PLAN
 1/4" = 1'-0" ON 24 X 36 PAPER



27088 WEST TWIN LAKE DR.
 PEQUOT LAKES, MN

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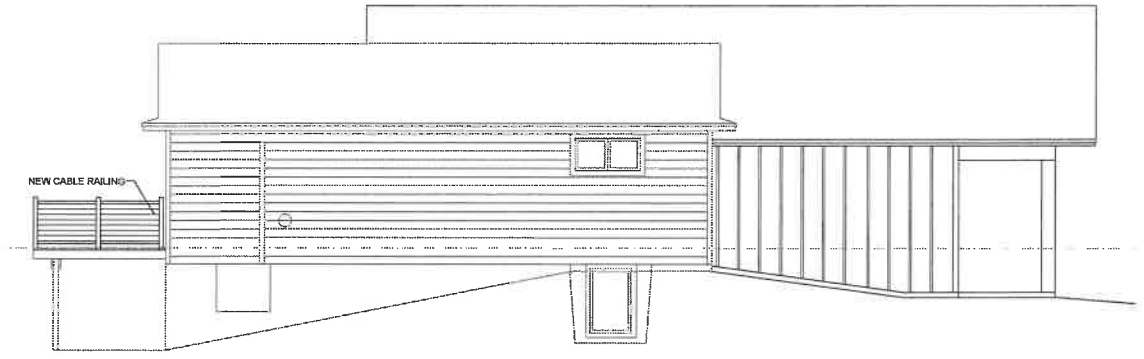
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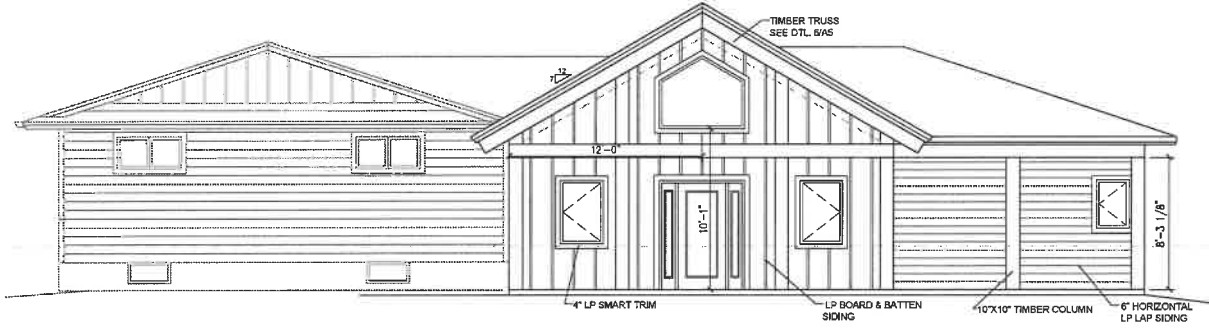
TRAVIS MILLER



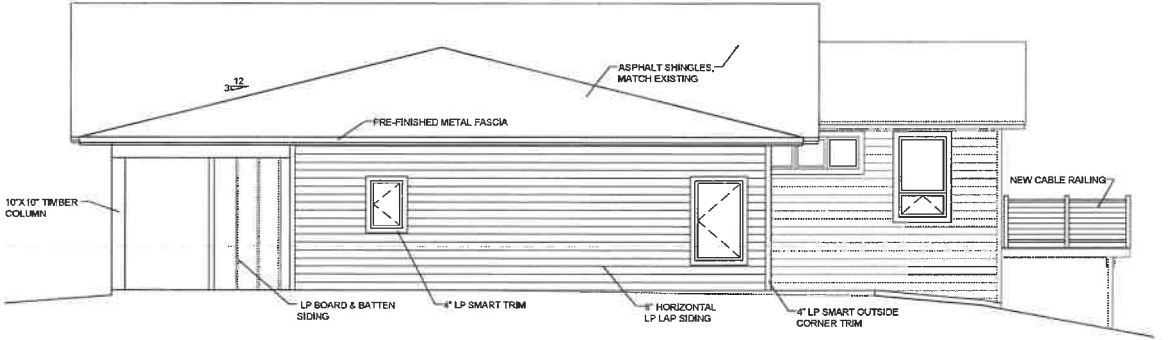
1 EAST ELEVATION
3/16" = 1'-0" ON 24 X 36 PAPER



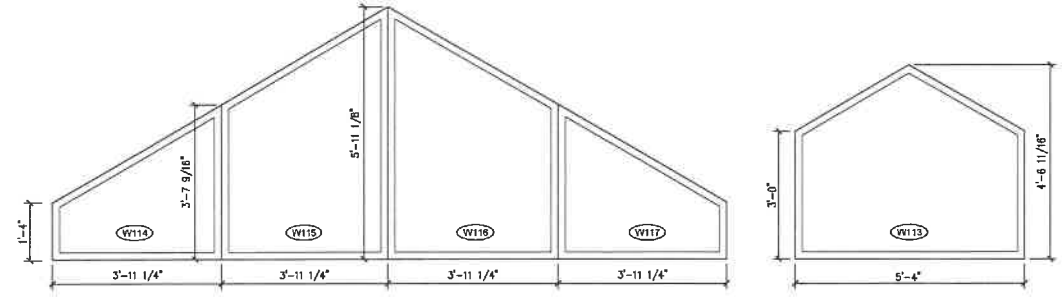
2 NORTH ELEVATION
3/16" = 1'-0" ON 24 X 36 PAPER



3 WEST ELEVATION
3/16" = 1'-0" ON 24 X 36 PAPER

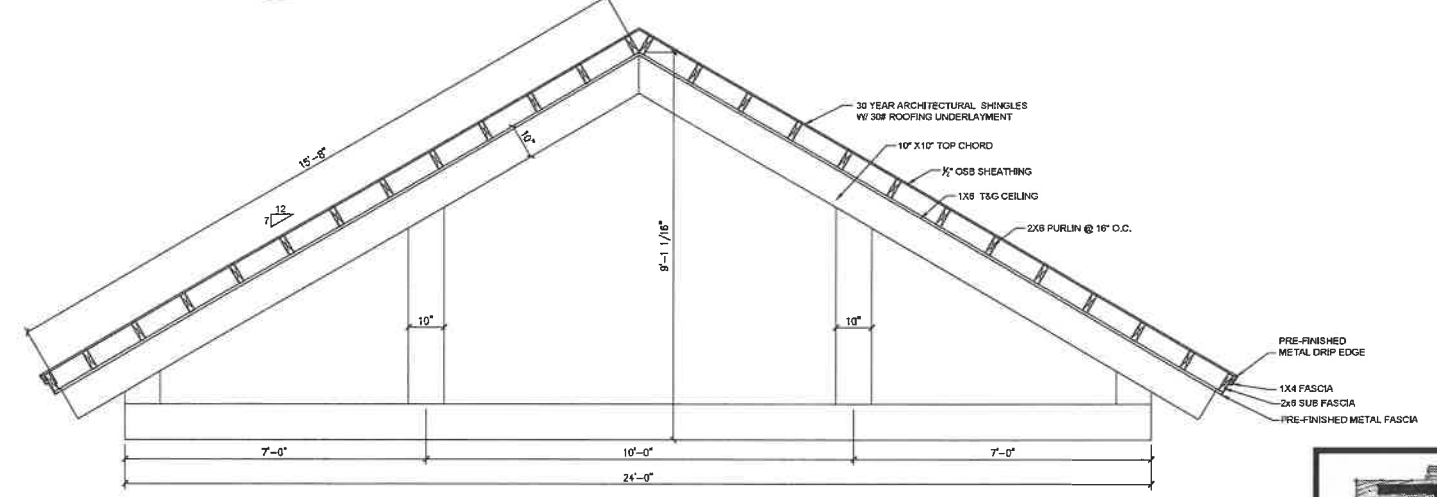


4 SOUTH ELEVATION
3/16" = 1'-0" ON 24 X 36 PAPER



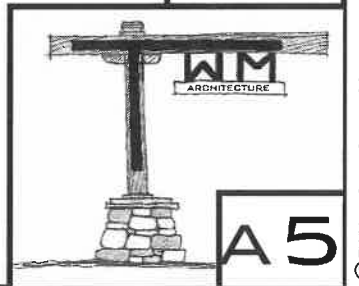
WINDOW ELEVATION NOTES:
- ALL WINDOW DIMENSIONS ARE SHOWN AS VIEWED FROM THE EXTERIOR.
- DIMENSIONS ARE TO ROUGH OPENING UNO.

5 CUSTOM WINDOW ELEVATIONS
1/2" = 1'-0" ON 24 X 36 PAPER



6 CUSTOM TRUSS DETAIL
1/2" = 1'-0" ON 24 X 36 PAPER

KOHMAN
CABIN ADDITION
27088 WEST TWIN LAKE DR.
PEQUOT LAKES, MN



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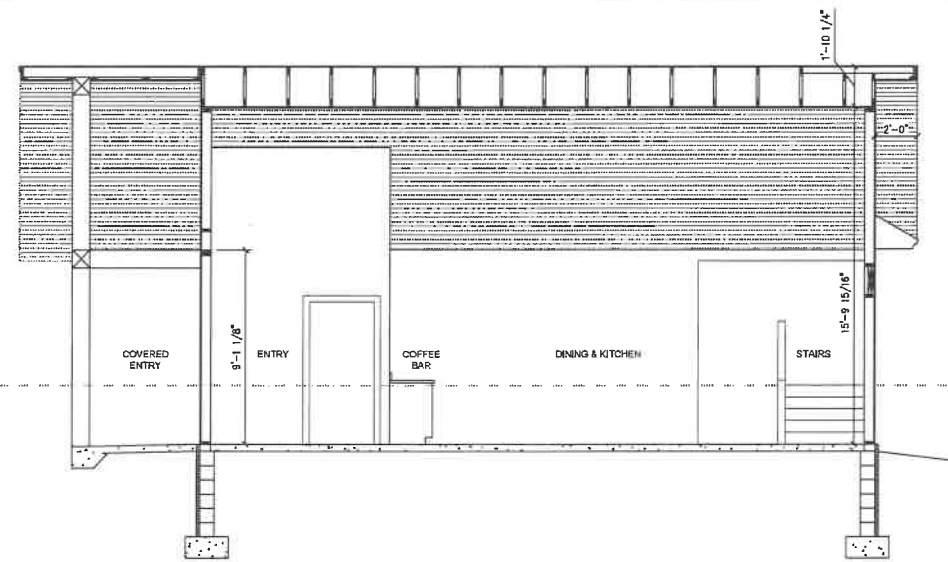
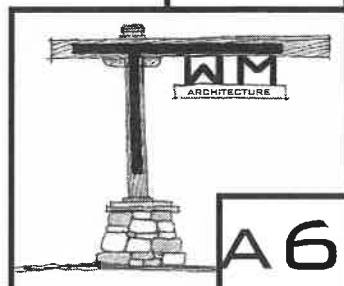
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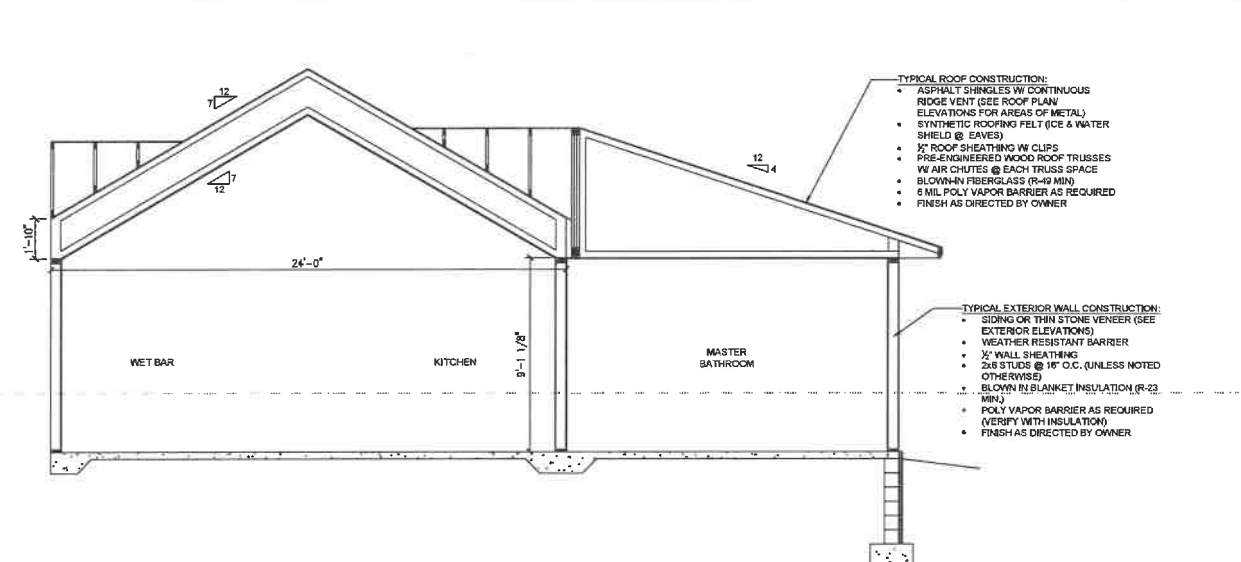
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27088 WEST TWIN LAKE DR.
PEQUOT LAKES, MN

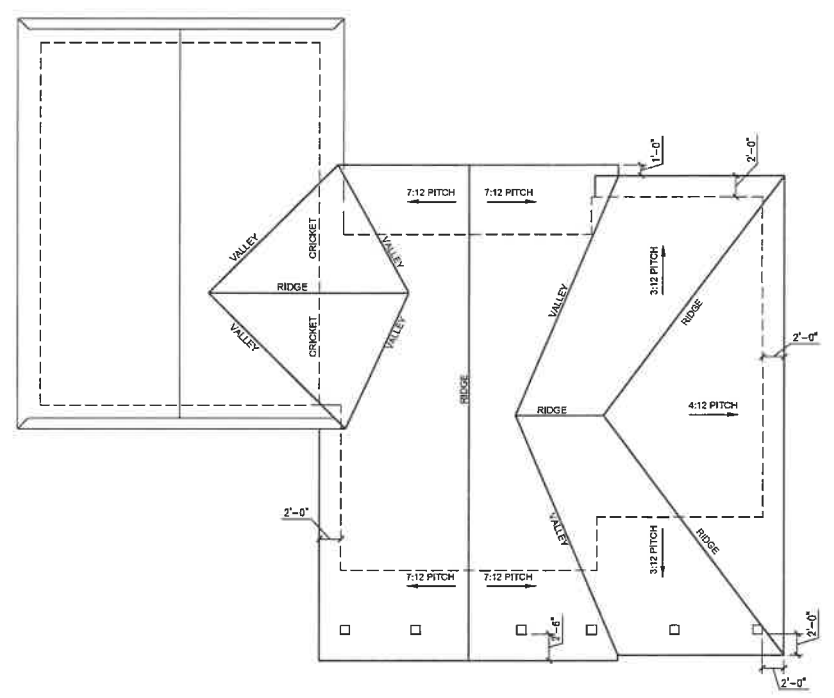
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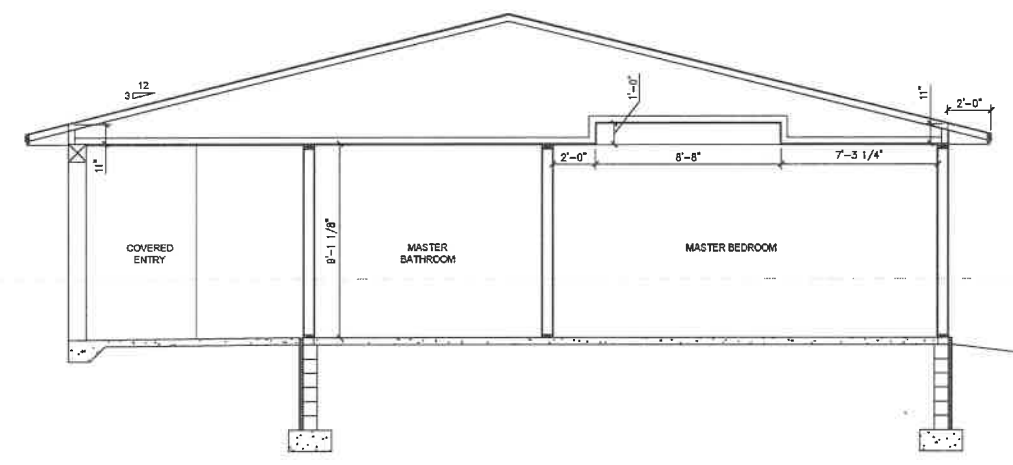
2 BUILDING SECTION
1/4" = 1'-0" ON 24 X 36 PAPER



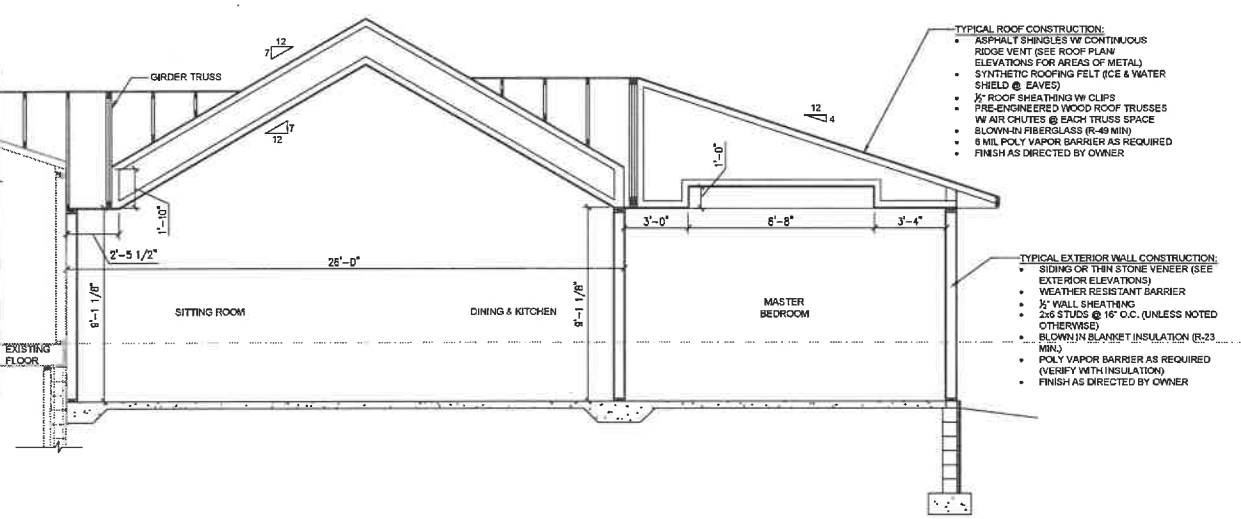
1 BUILDING SECTION
1/4" = 1'-0" ON 24 X 36 PAPER



5 ROOF PLAN
1/8" = 1'-0" ON 24 X 36 PAPER



3 BUILDING SECTION
1/4" = 1'-0" ON 24 X 36 PAPER



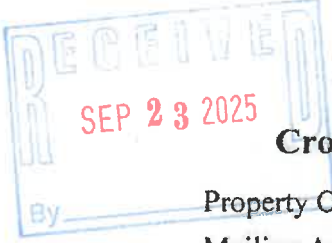
4 BUILDING SECTION
1/4" = 1'-0" ON 24 X 36 PAPER

TYPICAL ROOF CONSTRUCTION:
• ASPHALT SHINGLES W/ CONTINUOUS RIDGE VENT (SEE ROOF PLAN ELEVATIONS FOR AREAS OF METAL)
• SYNTHETIC ROOFING FELT (ICE & WATER SHIELD @ EAVES)
• 1/2" ROOF SHEATHING W/ CLIPS
• PRE-ENGINEERED WOOD ROOF TRUSSES W/ AIR CHUTES @ EACH TRUSS SPACE
• BLOWN-IN FIBERGLASS (R-49 MIN)
• 6 MIL POLY VAPOR BARRIER AS REQUIRED
• FINISH AS DIRECTED BY OWNER

TYPICAL EXTERIOR WALL CONSTRUCTION:
• SIDING OR THIN STONE VENEER (SEE EXTERIOR ELEVATIONS)
• WEATHER RESISTANT BARRIER
• 1/2" WALL SHEATHING
• 2x6 STUDS @ 16" O.C. (UNLESS NOTED OTHERWISE)
• BLOWN-IN BLANKET INSULATION (R-23 MIN)
• POLY VAPOR BARRIER AS REQUIRED (VERIFY WITH INSULATION)
• FINISH AS DIRECTED BY OWNER

TYPICAL ROOF CONSTRUCTION:
• ASPHALT SHINGLES W/ CONTINUOUS RIDGE VENT (SEE ROOF PLAN ELEVATIONS FOR AREAS OF METAL)
• SYNTHETIC ROOFING FELT (ICE & WATER SHIELD @ EAVES)
• 1/2" ROOF SHEATHING W/ CLIPS
• PRE-ENGINEERED WOOD ROOF TRUSSES W/ AIR CHUTES @ EACH TRUSS SPACE
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• SIDING OR THIN STONE VENEER (SEE EXTERIOR ELEVATIONS)
• WEATHER RESISTANT BARRIER
• 1/2" WALL SHEATHING
• 2x6 STUDS @ 16" O.C. (UNLESS NOTED OTHERWISE)
• BLOWN-IN BLANKET INSULATION (R-23 MIN)
• POLY VAPOR BARRIER AS REQUIRED (VERIFY WITH INSULATION)
• FINISH AS DIRECTED BY OWNER



S25-11

Crow Wing County Pressure Bed/Trench with Pump Design

Property Owner: Mary Jo Kohman Date: 9/22/2025
 Mailing Address: 10684 38th Cir NE
 City: St. Michael State: MN Zip: 55376
 Home Phone Number: _____ Cell: _____
 Site Address: 27088 W Twin Lake Dr
 City: Pequot Lakes State: MN Zip: 56472
 Driving directions if no address issued: _____

Legal Description: N 80' of S 1055' of Gov Lot 4
 Sec: 34 Twp: 136 Range: 29 Twp Name: City of Pequot Lakes
 Parcel Number: 29340505
 Lake/ River: West Twin Lake/River Classification: GD

Flow Data

Number of Bedrooms: 4
 Dwelling Classification: I
 System Type: I
 GPD: 600

Estimated Flow in Gallons per Day (GPD)			
Bedrooms	Class I	Class II	Class III
2	300	225	180
3	450	300	218
4	600	375	256
5	750	450	294
6	900	525	332
7	1050	600	370
8	1200	675	408

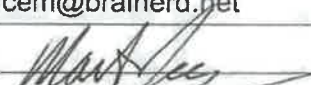
Wells

Deep Well: Existing Deep
 Shallow Well: None
 Wells to be sealed (if applicable)? _____

Setbacks

Tank(s) to: Well +50' Drainfield to: Well +50' Sewer Line to well: +50'
 House +10' House +20' Air Test: No
 Property Line +10' Property Line +10'

Additional System Notes and Information: NEW SSTS - 4 Bedrooms
 Propose addition to the house. Pump, crush, fill existing tank.
 Protect the drainfield area during construction.

Designer Name: Martin Joyce License Number: L2129
 Address: _____
 City: _____ State: _____ Zip: _____
 Home Phone Number: _____ Cell: 218-820-2621
 E-Mail Address: joycem@brainerd.net
 Designer Signature:  Date: 9/22/2025

revised 4/9/2018

Crow Wing County Pressure Bed/Trench with Pump Design

Parcel Number: 29340505 Property Owner: Mary Jo Kohman Date: 9/22/2025

Tank Sizing

Causes a 2250 Trombo

- A. Septic Tank Capacity: 1500 Gallons
 Tank Type: 2 Compartments Filter: No
 Garbage Disposal/Basement Lift Station: No Disposal or Lift
- B. Pump Tank Capacity: 500 Gallons (7080.2100)
 a. Alarm Type: Electric

Designer's Initials:

Septic Tank Capacity		
Bedrooms	Minimum	GD/BL
3 or less	1,000	1,500
4 or 5	1,500	2,250
6 or 7	2,000	3,000

Soils

- C. Depth to Restricting Layer: 6 ft.
 D. Native SSF: 1.27
 (Perc. Rate [Optional] _____ MPI)

Absorption Width Ratio Table		
Texture	SSF	AWR
Sand	0.83	1.00
Fine Sand	1.67	2.00
Sandy Loam	1.27	1.52
Loam	1.67	2.00
Silt Loam	2.00	2.40
Clay Loam	2.20	2.67

****Enter GPD next to the type of system****

Rock Trenches

- E. 6 in. Trench Depth _____ GPD × D = 0.0 sq. ft. Cubic Yards of Rock: 0.0 yds³
 F. 12 in. Trench Depth _____ GPD × D × .8 = 0.0 sq. ft. Cubic Yards of Rock: 0.0 yds³
 G. 18 in. Trench Depth _____ GPD × D × .66 = 0.0 sq. ft. Cubic Yards of Rock: 0.0 yds³
 H. 24 in. Trench Depth _____ GPD × D × .6 = 0.0 sq. ft. Cubic Yards of Rock: 0.0 yds³
 I. Divide (E-H) by Trench Width for lineal feet: 0.0 ÷ 3 = 0.0

Chamber Trenches

- J. Brand: _____ Dimensions of one chamber (L x W): 1.0 ft. × 3.0 ft.
 K. 6-11 in. Chamber Depth _____ GPD × D = 0.0 sq. ft.
 L. 12 in. Chamber Depth _____ GPD × D × .8 = 0.0 sq. ft.
 M. Select from (K-L) if installing Chamber Trenches: 0.0
 N. Divide (M) by Trench Width for lineal feet: 0.0 ÷ 1 = 0.0 Lineal Feet
 O. Total Chambers Needed (Round Up): 0.0 Chambers

Pressure Beds

- P. Pressure Bed 600 GPD × D = 850.9 sq. ft.
 a. Bed Dimensions 25.0 ft. × 34.0 ft.
 b. Cubic Yards of Rock Bed Length × Bed Width × Rock Depth 1 ft. ÷ 27 = 31.5 yds³

Additional System Notes and Information: NEW SSTS - 4 Bedrooms

Propose addition to the house. Pump, crush, fill existing tank.

Protect the drainfield area during construction.

OVERSIZING THE DRAINFIELD TO 850 SQ. FT. TO MAXIMIZE THE AVAILABLE DRAINFIELD AREA.

Crow Wing County Pressure Bed/Trench with Pump Design

Parcel Number: 29340505 Property Owner: Mary Jo Kohman Date: 9/22/2025

Determine Pump Capacity

1) Gravity Distribution Pump Capacity Range: 10 - 45 GPM

*Skip to Pump Head Requirements if pumping to gravity

2) Pressure Distribution:

a) Number of laterals: 5

Page 1 of 2

b) Lateral Size: 2.0 in.

c) Perforation spacing: 3.0 ft.

d) Check Table 4 to see the maximum number of perforations per lateral.

3) Lateral Length (choose):

a) End manifold: rock bed length: 0.0 - 2 ft. = -2.0 ft.

b) Center manifold: rock bed length /2: 0.0 - 1 ft. = -1.0 ft.

c) Choose 3a or 3b: 32.0 ft.

4) Total Perforation Determination:

a) Length (3c) ÷ Spacing (2c): $\frac{32.0}{3.0} + 1 = 11.7$ Perforations / Lateral

b) (4a): $11.7 \times (2a): 5 = 58.3$ Total Number of Perforations

c) Select perforation discharge from Table 1 = 0.74 GPM/Perf.

d) (4b): $58.3 \times (4c): 0.74$ GPM/Perf. = 43.2 GPM

PUMP HEAD REQUIREMENTS

5) Elevation difference:

a) Elevation difference between pump and point of discharge 8.0 ft.

b) If pumping to a pressure distribution system, (5a) 8.0 + 5 = 13.0 ft.

c) Choose 5a if pumping to gravity or 5b for pressure: 13 ft.

6) Friction loss:

a) Select a value from Table 2: 3.28 ft. / 100 ft. of pipe

b) Pipe length to drainfield: 5 ft. $\times 1.25 = 6.3$ ft.

c) (6a): $3.28 \times (6b): 6.3 \div 100 = 0.2$ Total Friction Loss

7) Drainback:

a) Actual Pipe length $\frac{12.5 \text{ ft.} \times 0.17 \text{ gal/ft. (Table 3)}}{1} = 2.1$ gal

8) (5c): 13 ft. + (6c): 0.2 ft. = 13.2 Total Head Required

9) Minimum Pump Size 43.2 GPM (4d) & 13.2 ft. of dynamic head (8)

Designer's Initials: _____

Ft. of Head	7/32 Perf Diameter	1/4 Perf Diameter
1.0	0.56 in.	0.74 in.
2.0	0.80 in.	1.04 in.

Flow (GPM)	1.5"	2"	3"
20	2.47	0.73	0.11
25	3.73	1.11	0.16
30	5.23	1.55	0.23
35	6.96	2.06	0.30
40	8.91	2.64	0.39
45	11.07	3.28	0.48
50	13.46	3.99	0.58
55		4.76	0.70
60		5.60	0.82
65		6.48	0.95
70		7.44	1.09

Use 1.0 for single homes. 2.0 for everything else

Pipe Diameter	Gal/Ft.
1.25 in.	0.078
1.5 in.	0.11
2.0 in.	0.17

Perf. Spacing	1.25" Pipe	1.5" Pipe	2" Pipe
2.5 ft.	14	18	28
3 ft.	13	17	26
3.3 ft.	12	16	25
4 ft.	11	15	23
5 ft.	10	14	22

revised 4/9/2018

Crow Wing County Pressure Bed/Trench with Pump Design

Parcel Number: 29340505 Property Owner: Mary Jo Kohman Date: 9/22/2025

Designer's Initials: _____

Proposed Site Boring #1

Depth (in)	Texture	Coarse Frag. %	Color	Structure	Redox
0-4	Sandy Loam		10YR 3/3		
4-30	Sandy Loam		10YR 4/4		
30-52	Loamy Sand		10YR 5/4-5/6		
52-72	Sand		10YR 5/4		

Proposed Site Boring #2

Depth (in)	Texture	Coarse Frag. %	Color	Structure	Redox

Alternate Site Boring #1

Depth (in)	Texture	Coarse Frag. %	Color	Structure	Redox

Alternate Site Boring #2

Depth (in)	Texture	Coarse Frag. %	Color	Structure	Redox

Soil Sizing Factors/Hydraulic Loading Rates

Perc. Rate	Texture	SSF	HLR	Perc. Rate	Texture	SSF	HLR
<0.1	Coarse Sand			16 to 30	Loam	1.67	0.60
0.1 to 5	Sand	0.83	1.20	31 to 45	Silt Loam	2.00	0.50
0.1 to 5	Fine Sand	1.67	0.60	46 to 60	Clay Loam	2.20	0.45
6 to 15	Sandy Loam	1.27	0.78	> 60	Clay Loam	****	0.24

Description of Soil Treatment Areas

	Proposed Site		Alternate Site	
	Proposed #1: 72"	Proposed #2:	Alternate #1:	Alternate #2:
Disturbed Areas?	NO		NO	
Compacted Areas?	NO		NO	
Flooding Potential?	NO		NO	
Run-on Potential?	NO		NO	
Limiting Layer Depth	Proposed #1: 72"	Proposed #2:	Alternate #1:	Alternate #2:
Slope % and Direction	0			
Landscape Position	Flat/Summit			
Vegetation Types	Oaks/Pines			
Soil Texture	SANDY LOAM			
Soil Sizing Factor	1.27			

Martin Joyce Septic Service, Inc.

27604 County Road 3, Merrifield, MN 56465

Septic System Management Plan

Property Owner: Mary Jo Kohman

Phone: _____

Date: 9/22/2025

Mailing Address: 10684 38th Cir NE, St. Michael, MN 55376

Site Address: 27088 W Twin Lake Dr, Pequot Lakes, MN 56472

This management plan will identify the operation and maintenance activities necessary to ensure long-term performance of your septic system. Some of these activities must be performed by you, the homeowner. Other tasks must be performed by a licensed septic service provider.

System Designer: check every _____ months
Local Government: check every _____ months
State Requirement: check every 36 months

My system needs to be checked
every 36 months

Homeowner Management Tasks (performed monthly unless otherwise stated)

- Leaks* - Check (look,listen) for leaks in toilets and dripping faucets. Repair leaks promptly
- Surfacing sewage* - Regularly check for wet or spongy soil around your soil treatment area.
- Effluent filter* - *Inspect and clean twice a year or more*
- Alarms* - Alarm signal when there is a problem: contact Service Provider any time an alarm signals
- Event counter or water meter* - Monitor your average daily water use (if it applies)

Professional Management Tasks

- Check and clean the in-tank effluent filter
- Check the sludge/scum layer levels in all septic tanks
- Recommend if tank should be pumped
- Pump all compartments of septic tank at least every 36 months
- Check inlet and outlet baffles
- Clean drainfield laterals (if it applies)
- Check the drain field effluent levels in the rock layer
- Check the pump and alarm system functions (if it applies)
- Check wiring for corrosion and function (if it applies)
- Check dissolved oxygen and effluent temperature in tank
- Provide home owner with list of results and any action to be taken

Replacement system for this residence, a secondary site has not been identified.

" I understand it is my responsibility to properly operate and maintain the sewage treatment system on this property, utilizing the Management Plan. If requirements in this Management Plan are not met, I will promptly notify the permitting authority and take necessary corrective actions. If I have a new system, I agree to adequately protect the reserve area for future use as a soil treatment system."

Property Owner Signature: _____

Date: _____

Designer Signature: _____

Date: _____

Permitting Authority Signature: _____

Date: _____

Map Unit Description (MN)

Crow Wing County, Minnesota

[Data apply to the entire extent of the map unit within the survey area. Map unit and soil properties for a specific parcel of land may vary somewhat and should be determined by onsite investigation]

D49A--Graycalm loamy sand, 0 to 2 percent slopes

Graycalm

<i>Extent:</i> 85 to 95 percent of the unit	<i>Soil loss tolerance (T factor):</i> 5
<i>Landform(s):</i> flats on outwash plains	<i>Wind erodibility group (WEG):</i> 2
<i>Slope gradient:</i> 0 to 2 percent	<i>Wind erodibility index (WEI):</i> 134
<i>Parent material:</i> outwash	<i>Kw factor (surface layer):</i> .15
<i>Restrictive feature(s):</i> greater than 60 inches	<i>Land capability, nonirrigated:</i> 4s
<i>Flooding:</i> none	<i>Hydric soil:</i> no
<i>Ponding:</i> none	<i>Hydrologic group:</i> A
<i>Drainage class:</i> somewhat excessively drained	<i>Potential for frost action:</i> low

<i>Representative soil profile:</i>		<i>Texture</i>	<i>Permeability</i>	<i>Available water capacity</i>	<i>pH</i>
A --	0 to 4 in	Loamy sand	rapid	0.35 to 0.43 in	4.5 to 5.5
Bw1 --	4 to 20 in	Loamy sand	rapid	1.29 to 1.61 in	5.0 to 6.0
Bw2 --	20 to 31 in	Sand	rapid	0.44 to 0.66 in	5.0 to 6.0
E and Bt --	31 to 79 in	Sand	rapid	2.38 to 3.81 in	5.5 to 6.5

This report provides a semitabular listing of some soil and site properties and interpretations that are valuable in communicating the concept of a map unit. The report also provides easy access to the commonly used conservation planning information in one place. The major soil components in each map unit are displayed. Minor components may be displayed if they are included in the database and are selected at the time the report is generated.



These data are provided on an "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

Mary Jo Kohman

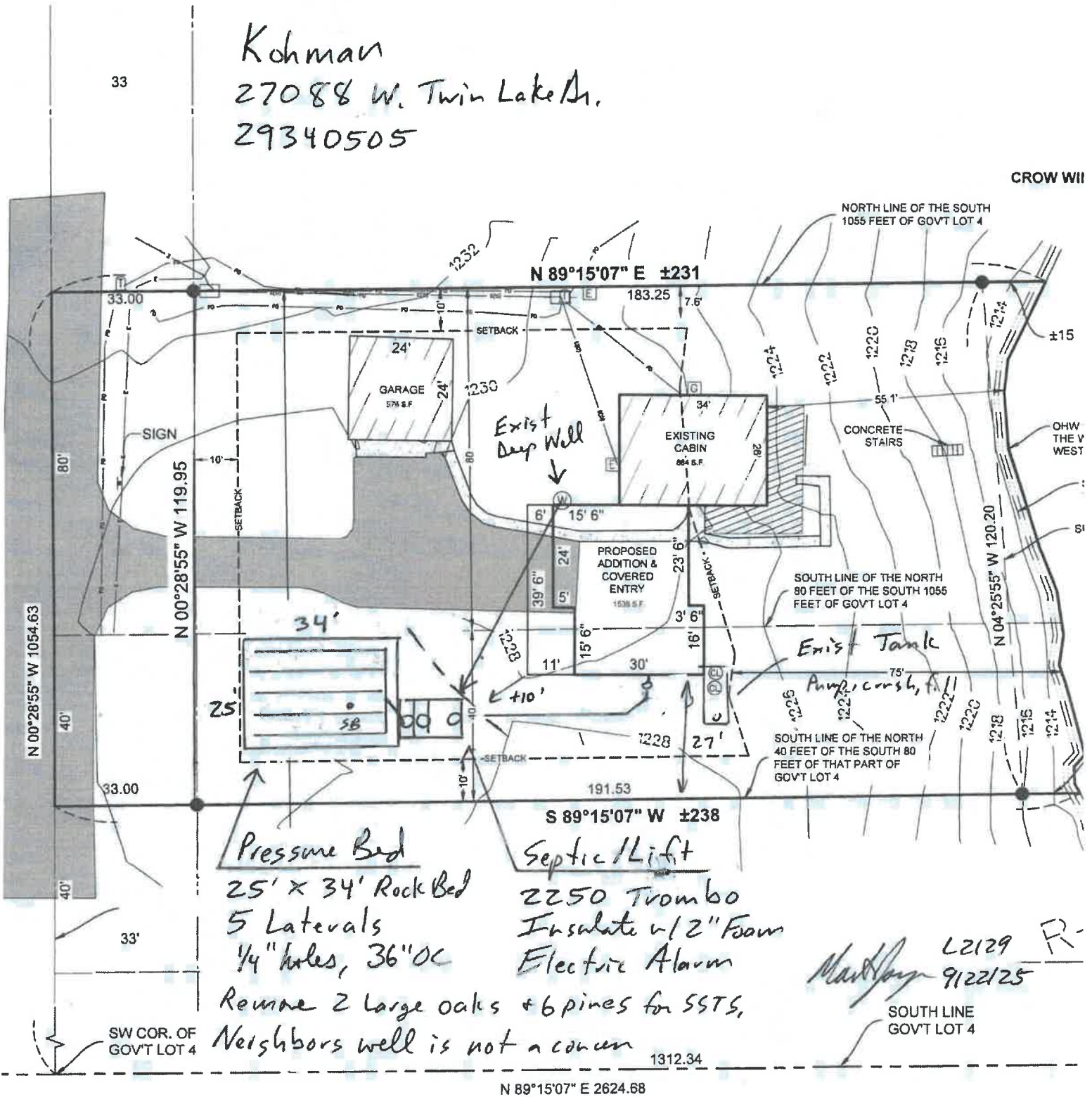
Date: 9/22/2025 Time: 6:44 PM

CERTIFICATE OF SURVEY

PART OF GOVERNMENT LOT 4 OF SECTION 34, TOWNSHIP 136, RANGE 33
CROW WING COUNTY, MINNESOTA

Kohman
27088 W. Twin Lake Dr.
29340505

CROW WING COUNTY

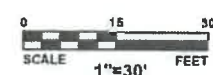


Pressure Bed
25' x 34' Rock Bed
5 Laterals
1/4" holes, 36" OC
Remove 2 large oaks + 6 pines for SSTS,
Neighbors well is not a concern

Septic/Lift
2250 Trombo
Insulate w/ 2" Foam
Electric Alarm

Mark [Signature] L2129 R-
9/22/25

NOT OF THE PARTY TO WHOM
LIED UPON BY ANY OTHER PARTY OR
FACTING THE SURVEYOR WHO
ORIALIZED REPRODUCTION OF THIS



I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER
MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS
OF THE STATE OF MINNESOTA.

[Signature] 9/8/2025

NAME JACOB M. BACKOWSKI LIC. NO. 51893 DATE

REV'D	9/8/2025
DRAWN	DHB
CHECKED	JMB



Traci Pederson

From: Andy Schwartz
Sent: Tuesday, September 23, 2025 8:37 PM
To: Traci Pederson
Subject: Re: 27088 W Twin Lake Dr Septic Design

Looks ok to me Traci.

Get [Outlook for iOS](#)

From: Traci Pederson <tpederson@pequotlakes-mn.gov>
Sent: Tuesday, September 23, 2025 8:37:53 AM
To: Andy Schwartz <aschwartz@pequotlakes-mn.gov>
Subject: FW: 27088 W Twin Lake Dr Septic Design

Andy,
Please review and let me know if approved/denied. This is for an upgrade...

Traci Pederson
Zoning Administrator

Please note: Any information provided is for general guidance only and does not constitute approval, endorsement, or guarantee. Formal review and decisions are only made upon submission of a complete application, in accordance with applicable codes and regulations.



4638 Main Street
Pequot Lakes, MN 56472
Phone: (218) 568-2354
Fax: (218) 568-5860
Office Hours: 8:00 am - 4:00 pm
tpederson@pequotlakes-mn.gov
www.pequotlakes-mn.gov

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From: Martin Joyce <joycem@brainerd.net>
Sent: Tuesday, September 23, 2025 8:03 AM
To: Traci Pederson <tpederson@pequotlakes-mn.gov>
Cc: 'Justin' <honerexc@yahoo.com>
Subject: 27088 W Twin Lake Dr Septic Design

Hi All,

Attached is the septic design for 27088 W Twin Lake Dr (29340505).
Any questions, please let us know.

Thanks!
Carrie
218-821-9014

Martin Joyce Septic Service, Inc.
Septic Design and Inspection
218-820-2621